

AGENDA
CITY COUNCIL REGULAR BUSINESS MEETING
CITY OF BRIGHTON
JUNE 2, 2016 - 7:30 P.M.
CITY HALL COUNCIL CHAMBERS
200 NORTH FIRST STREET
BRIGHTON, MICHIGAN
TELEPHONE: 810-227-1911 WEBSITE: www.brightoncity.org

Business Meeting - 7:30 PM

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Consider Approval of the Agenda

Consent Agenda Items

5. Approval of Minutes: [Study Session of May 19, 2016](#)
6. Approval of Minutes: [Regular Meeting of May 19, 2016](#)
7. Approval of the [Brighton's Operation Treasure Hunt "Finding Sluggo" Civic Event Application](#)
8. Approval of the [A21 Campaign Walk for Freedom Civic Event Application](#)

Correspondence

9. Call to the Public
10. Information for City Customers
11. Receive Updates from Council Member Liaisons to other Boards and Commissions

New Business

12. Consideration of [Site Plan Approval #16-002 - Holiday Inn Express \(Nemco Way & Murphy Dr.\)](#)
13. Consideration of [Site Plan Approval #16-004 - Parking Lot Improvements, 600 E. Main St. \(Lynch & Son's Funeral Home\)](#)
14. Consider authorizing the City Manager to [Negotiate the Final Terms and Execute a Facility Scheduling Agreement](#) for the Brighton Community Center with Brighton Area Schools

Other Business

15. Conduct Interviews of City Council Vacancy Applicants and Consider an Appointment to Fill the Vacant City Council Position.
16. Call to the Public
17. Adjournment

MINUTES OF THE STUDY SESSION OF THE CITY COUNCIL OF BRIGHTON
HELD ON MAY 19, 2016 AT THE BRIGHTON CITY HALL
200 N. 1ST STREET, BRIGHTON, MICHIGAN

STUDY SESSION

The Council conducted a Study Session at 6:30 p.m.

Present were Mayor Muzzin, Mayor Pro-Tem Pipoly, Councilmembers Tobbe, Bohn, Pettengill, Gardner, Attorney Maynes and staff: Nate Geinzer, Gretchen Gomolka, Pamela Stewart, Dave Blackmar, and an audience of 4.

BUDGET TRENDS, PRIORITIES, AND THE BIG PICTURE

City Manager, Nate Geinzer gave a presentation on facing today's realities concerning this year's budget, preparing for the Fall Retreat and the 17/18 Budget Process. Issues discussed were: potential funding of City Hall renovation on a five to ten year plan, employee replacements, and funding roads from Act 51.

ADJOURNMENT

It was moved by Mayor Pro Tem Pipoly, seconded by Tobbe to adjourn the meeting at 7:24 p.m. Motion passed 6-0.

Pamela Stewart, Acting City Clerk

James Muzzin, Mayor

MINUTES OF THE MEETING OF THE CITY COUNCIL OF BRIGHTON
HELD ON MAY 19, 2016 AT THE BRIGHTON CITY HALL
200 N. 1ST STREET, BRIGHTON, MICHIGAN

REGULAR SESSION

Mayor Muzzin called the regular meeting to order at 7:30 p.m. Following the Pledge of Allegiance, the roll was called. Present were Mayor Muzzin, Mayor Pro-Tem Pipoly, Councilmembers Bohn, Tobbe, Gardner, and Pettengill. Also in attendance were Attorney Maynes, and Staff members: City Manager Nate Geinzer, Police Chief Wightman, Pamela Stewart, Dave Blackmar, Tim Krugh, Engineer Gary Markstom and an audience of 4. Press and media included Noe Hernandez from the Press & Argus and Tom Tolen from WHMI.

AGENDA APPROVAL

It was moved by Mayor Pro-Tem Pipoly, seconded by Bohn to approve the agenda.

Motion passed 6-0.

CONSENT AGENDA

It was moved by Mayor Pro Tem Pipoly, seconded by Pettengill to approve the consent agenda. Motion passed 6-0.

The following items were approved or acknowledged:

Approve the Regular Meeting minutes, Study Session minutes, and Closed Session minutes of May 5, 2016 as presented.

Acknowledge receipt of Quarterly Financial Reports.

CALL TO THE PUBLIC

Mayor Muzzin opened the Call to the Public at 7:35 p.m. Hearing none, the Call to the Public was closed at 7:35 p.m.

CITY CUSTOMER INFORMATION AND BOARD UPDATES

Mayor Pro Tem Pipoly announced that the DDA accepted an offer for the Mexican Jones liquor license with a net profit of \$65,000.

Councilmember Bohn gave a Planning Commission update.

City Council
May 19, 2016
Page 2

Mayor Muzzin reported that the Brighton Area Fire Board met and approved all budgets and gave direction to the chief to coordinate admin succession plan. The Mayor also got notice that the U of M Regents approved the site layout and schematic designs for their project in Brighton.

TETRA TECH CONTRACT AMENDMENT

Nate Geinzer discussed the need for the road as the large roads project encompassing I-96 to Ore Creek is moving forward in the Fall and to receive the grant funds we need to have engineering plans in place.

Gary Markstrom, City Engineer, gave an overview of the project and discussed survey work that is needed and required by the grant.

Moved by Mayor Pro Tem Pipoly, seconded by Gardner to approve Tetra Tech Contract Amendment No. 348 for West Grand River 2017 Mill & Resurface Project Design and Construction Engineering Services in the amount of \$122,000.

Motion passed 6-0

DTE ENERGY LED PHASE II LIGHT RETROFIT

Nate Geinzer talked about the replacement of Phase Two to replace all lights. Positive impacts included: energy efficiency and better quality light. The expense is reflected in the current budget numbers.

Moved by Councilmember Tobbe, seconded by Pettengill to approve City Manager issuing a purchase order to DTE Energy for LED Street Light Retrofit Phase II in the amount of \$64, 680. Motion passed 6-0

INTERVIEW FOR VACANCY FOR THE POSITION ON CITY COUNCIL

Due to a miscommunication, the City Council interviews will take place at the June 2, 2016 Council Meeting.

It was moved by Mayor Pro Tem Pipoly, seconded by Pettengill to table the City Council interviews until June 2, 2016.

Motion passed 6-0.

CALL TO THE PUBLIC

Mayor Muzzin opened the Call to the Public at 8:01 p.m. Hearing none, the Call to the Public was closed at 8:01 p.m.

ADJOURNMENT

It was moved by Councilmember Bohn, seconded by Pettengill to adjourn the meeting at 8:04 p.m. Motion passed 6-0.

City Council
May 19, 2016
Page 3

Pamela Stewart, Acting City Clerk

James Muzzin, Mayor



CITY OF BRIGHTON
REPORT FROM THE CITY MANAGER TO CITY COUNCIL
MAY 25, 2016

SUBJECT: CONSIDER APPROVAL OF CIVIC EVENT APPLICATION FOR BRIGHTON'S OPERATION TREASURE HUNT "FINDING SLUGGO"

ADMINISTRATIVE SUMMARY

- The Brighton Arts & Culture Commission is proposing to hold a scavenger hunt involving 3D chalk art on Saturday, June 18, 2016 from 10:00 am to 1:00 pm.
- The chalk art will be drawn by David Zinn.
- The hunt will start at the Farmers Market in the municipal parking lot and end at the Hyne Street alley. Please see the attached application and map for route.
- There are no road closures or City staff assistance needed for this event. The event holder will ensure that adults will be stationed at the intersection of the Hyne Alley and Millpond Lane to ensure safety of the children in the area.

RECOMMENDATION

Approval of the Civic Event Application for Brighton's Operation Treasure Hunt "Finding Sluggo"

Prepared by: Patty Thomas, Asst. DPW Director

Reviewed by: Dave Blackmar, DPW Director
Tom Wightman, Police Chief

Approved by: Nate Geinzer, City Manager



Civic Event Application
City of Brighton
 200 N. 1st Street
 Brighton, Michigan 48116
 (810) 227-1911

OFFICE USE ONLY
5-24-16
Date Received
By

**** APPLICATIONS MUST BE FILLED OUT COMPLETELY BEFORE THEY WILL BE CONSIDERED FOR REVIEW ****

May 12, 2016	Brighton Arts & Culture Commission	Brenda Ochodnicky	
Application Date	Name of Organization	Name of Applicant	
200 N. First Street	Brighton	MI	48116
Street Address	City	State	Zip
586.914.0908	586.914.0908		
Cell Phone	Home Phone	Work Phone	Fax
brendaochodnicky@comcast.net			
Email Address			
Brighton's Operation Treasure Hunt - "Finding Sluggo in Brighton"			
Event Title			
Downtown Brighton around the Millpond			
Event Location			

EVENT DAYS / TIMES (Please stipulate the following information for each date of event)

DATE	Day of Week	Beginning Time	Ending Time
6/18/16	Saturday	10:00 am	1:00 pm
_____	_____	_____	_____
9:30 am	1:30 pm	_____	_____
Set up Time/Day	Tear down Time / Day*	Rain Date (if applicable)	

* Tear down time will be strictly enforced. It is the applicant's responsibility to ensure the teardown of all materials with their on-site vendors, sponsors, etc. is complete by the teardown time given above.

ORGANIZATION / APPLICANT INFORMATION

Applications for Civic Events in the City of Brighton shall NOT be approved for applicants in default to the City. Therefore, each Application for Civic Events shall be routed to the Finance Department for a determination of any defaults to the City. In the event a default to the City exists, the Application shall be disapproved by the Finance Department, with the nature of the default described as the reason of the disapproval.

TAX IDENTIFICATION NUMBER: _____

BRIEF DESCRIPTION OF ORGANIZATION'S PURPOSE AND/OR FUNCTION:

The Brighton Arts & Culture Commission is planning a unique treasure hunt for children in downtown Brighton. Chalk artist, David Zinn will create chalk artwork masterpieces around the Mill pond area. This temporary street art is in 3D. Once all of the characters are found - the children will win a prize at Hyne Alley.

IS THE ORGANIZATION NON-PROFIT? YES NO
If yes, attach a copy of the organizations Sales Tax Exempt Certificate.

DOES YOUR GROUP PRESENTLY HAVE LIABILITY INSURANCE? YES NO

GENERAL LIABILITY INSURANCE IS REQUIRED NAMING THE CITY OF BRIGHTON AS ADDITIONAL INSURED. IF FOOD IS BEING SERVED, PRODUCT LIABILITY MUST BE INCLUDED. LIMITS OF LIABILITY SHOULD BE NO LESS THAN \$1,000,000 COMBINED SINGLE LIMIT FOR BODILY INJURY AND PROPERTY DAMAGE.

EVENTS THAT INCLUDE THE SALE OR DISTRIBUTION OF ALCOHOL MUST HAVE A SPECIAL EVENT LIQUOR LIABILITY POLICY IN AN AMOUNT NOT LESS THAN \$1,000,000, NAMING THE CITY OF BRIGHTON AS ADDITIONALLY INSURANCED. THIS POLICY IS IN ADDITION TO THE COMPREHENSIVE LIABILITY INSURANCE.

PLEASE GIVE A DESCRIPTION OF THE PROPOSED CIVIC EVENT. (Attach additional pages if necessary)

ANNUAL EVENT: Is this event expected to occur next year? YES NO Unknown

If Yes, you can reserve a date for next year with this application). To reserve dates for next year, please provide the following information:

Normal Event Schedule (e.g., third weekend in July): _____

or

Next year's specific date(s): _____

PROCEEDS OF THIS EVENT WILL BE USED FOR:

N/A

IF THE PROPOSED CIVIC EVENT IS A PARADE OR RUN/WALK EVENT, PLEASE LIST THE POINT OF ORIGIN, PATH, TERMINATION POINT, NUMBER OF ENTRIES AND TRAFFIC CONTROL PLAN AS NECESSARY. (Use attached map to clarify the route)

IF THE PROPOSED CIVIC EVENT IS A RUN/WALK EVENT, WILL YOU BE PROVIDING VOLUNTEERS AT ALL ROAD CROSSINGS? N/A YES NO

WILL THESE VOLUNTEERS BE WEARING SHIRTS IDENTIFYING THEM AS VOLUNTEERS AS WELL AS REFLECTIVE SAFETY VESTS? YES NO

ARE YOU PLANNING TO CHARGE AN ADMISSION FEE? YES NO

IF YES, WHAT KIND AND HOW MUCH?

DO YOU PLAN ON UTILIZING VENDORS AND/OR EXHIBITORS FOR SALES OF ANY KIND? YES NO

IF YES, COMPLETELY FILL OUT THE ATTACHED VENDOR CONTACT INFORMATION SHEET(S).

WHAT IS THE FEE CHARGED FOR EACH VENDOR? _____

DO YOU PLAN TO CONTRIBUTE REVENUES RECEIVED FROM THIS EVENT TO LOCAL ORGANIZATIONS AND/OR COMMUNITY GROUPS? YES NO

IF YES, TO WHOM AND HOW MUCH?

WHAT IS THE EXPECTED ATTENDANCE FOR THIS EVENT? 100 children w/parents

DO YOU PLAN ON SUPPLYING ADDITIONAL RESTROOM FACILITIES? YES NO

NUMBER OF VOLUNTEERS / STAFF? 8

HOW WILL THE VOLUNTEERS / STAFF BE IDENTIFIED? Red shirts

HOW WILL THIS EVENT BENEFIT THE RESIDENTS AND/OR IMPROVE THE QUALITY OF LIFE IN THE CITY OF BRIGHTON?

It will bring families out into downtown Brighton during our Farmer's Market and give air of fun and community the weekend after school is out. Visitors and residents alike will enjoy the art.

ELECTRICAL SERVICES REQUIRED (Please Be as Accurate as Possible)

N/A

OTHER UTILITIES REQUIRED (Please Be as Accurate as Possible)

N/A

CITY FACILITIES REQUESTED (Please Be as Accurate as Possible)

N/A - the use of the pavillion rest rooms

DO YOU PLAN TO UTILIZE OFF-SITE PARKING FACILITIES YES NO

IF SO, WHAT LOCATION IS PLANNED? _____

WHAT IS YOUR PLAN FOR TRANSPORTATION FROM THE PARKING AREA TO THE EVENT LOCATION?

SIGNAGE REQUESTED (Detail sign locations on the attached map and provide sign renderings)

Number of Signs N/A

Types of Signs _____

Locations of Signs _____

Date Signs Posted _____

Date Signs Removed _____

PLEASE ATTACH LIST OF EQUIPMENT; STAGE, TENTS, VEHICLES, ETC., THAT YOU PROPOSE TO USE IN THE EVENT OR BRING ONTO CITY PROPERTY, STREETS OR PARK AREAS - (ALL SUBJECT TO APPROVAL).

STREET CLOSURE

ARE YOU REQUESTING A STREET CLOSURE FOR YOUR EVENT? YES NO

If yes, detail the street(s) you would like closed, and the location of the closure(s) on the attached map.

ALCOHOL

DO YOU WANT TO SELL AND/OR SERVE ALCOHOL? YES NO

IF YES, PLEASE SEE THE ATTACHED SHEET TITLED "ALCOHOL" AND FILL IN THE QUESTIONS COMPLETELY AND IN DETAIL.

SECURITY

If the event requires the overnight setup or storage of goods, equipment, etc. security is the responsibility of the event applicant.

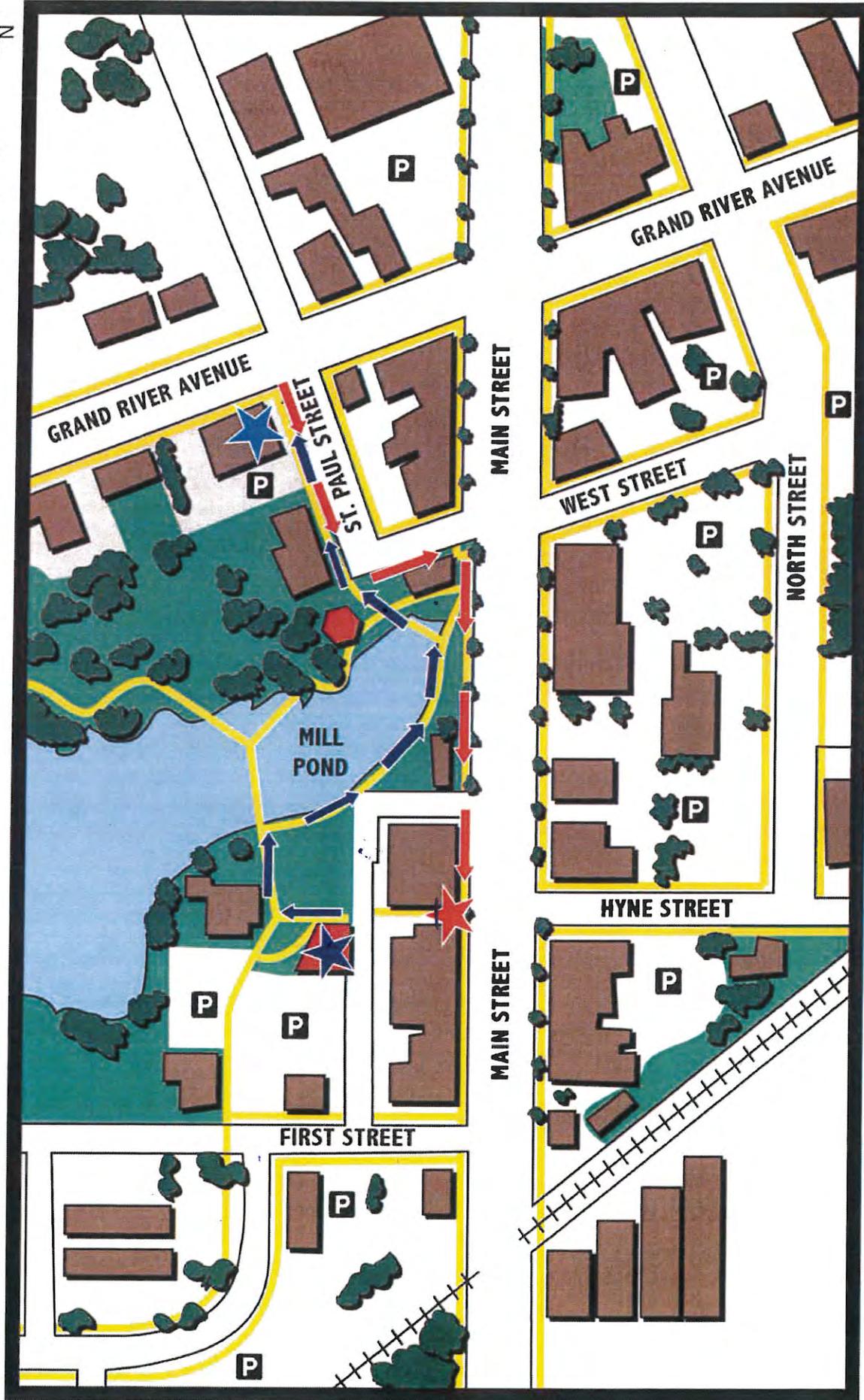
IF YOUR EVENT REQUIRES OVERNIGHT SECURITY, PLEASE PROVIDE THE FOLLOWING DETAILS OF YOUR SECURITY PLAN:

ON SITE REPRESENTATIVES NAMES AND CONTACT NUMBRS:

<u>Name</u>	<u>Contact number</u>
<u>Brenda Ochodnický</u>	<u>586-914-0908</u>
<u>Kris Tobbe</u>	<u>810-423-4086</u>
<u>Michelle Miller</u>	<u>810-599-3228</u>

Brighton's Operation Treasure Hunt: Finding Sluggo & His Friends

Denotes
Parking



-  Treasure Hunt Start
-  St. Paul Park Turn-Around
-  Treasure Chest!

David Zinn Chalk Art Event June 18, 2016

Brighton's Operation Treasure Hunt: Finding Sluggo & His Friends



The Brighton Arts & Culture Commission is planning a unique treasure hunt for children in downtown Brighton. Chalk artist, David Zinn will create some chalk artwork masterpieces around the Mill Pond area. David's temporary street art is incredibly creative and is composed entirely of chalk, charcoal and found objects, and is always improvised on location. The treasure hunt will have children finding different chalked characters in the area with a treasure chest of prizes waiting to be discovered at the end. The BACC is excited to welcome David Zinn to downtown Brighton for this children's event!



CITY OF BRIGHTON
REPORT FROM THE CITY MANAGER TO CITY COUNCIL
May 25, 2016

SUBJECT: APPROVAL OF THE A21 CAMPAIGN WALK FOR FREEDOM CIVIC EVENT

ADMINISTRATIVE SUMMARY

- The A21 Campaign is proposing to hold a Walk for Freedom Civic Event on Saturday, October 15, 2016 from 10 am to 12 pm.
- This is the second year that the A21 is sponsoring this event
- The Civic Event Committee met with the applicant to discuss the use of crossing guards at the following locations (see attached revised map for route and sign and crossing guard locations):
 - Main and West
 - Grand River and Church Street
 - Main and Grand River
 - Grand River and Orndorf Drive
- The applicant originally proposed to cross Main Street at Church; however, will reconsider and cross Main at Grand River because there is a crosswalk and traffic signal.
- There will be no street closures and no City resources required for this event.
- All crossing guards will have MUTCD-approved safety vests. They will not be stopping traffic to allow participants to cross and will only be assisting with crossing.
- The insurance certificate needs to be submitted.

RECOMMENDATION

The Civic Event Committee is recommending approval of the A21 Campaign Walk for Freedom Civic Event conditioned upon receipt of the proof of insurance prior to the date of the event.

Prepared by: Patty Thomas, Asst. DPW Director

Reviewed by: Dave Blackmar, DPW Director
Tom Wightman, Police Chief

Approved by: Nate Geinzer, City Manager



Civic Event Application
City of Brighton
 200 N. 1st Street
 Brighton, Michigan 48116
 (810) 227-1911

OFFICE USE ONLY
5-17-16
Date Received
<i>(Signature)</i>
By

** APPLICATIONS MUST BE FILLED OUT COMPLETELY BEFORE THEY WILL BE CONSIDERED FOR REVIEW **

March 29, 2016 The A21 Campaign Amy Polko
 Application Date Name of Organization Name of Applicant

4334 Deeside Dr. Brighton MI 48116
 Street Address City State Zip

734-355-0000 N/A N/A N/A
 Cell Phone Home Phone Work Phone Fax

Amy@amy.savin.com
 Email Address

Walk For Freedom
 Event Title

Livingston County
 Event Location

EVENT DAYS / TIMES (Please stipulate the following information for each date of event)

DATE	Day of Week	Beginning Time	Ending Time
10/15/16	SATURDAY	10 AM	NOON
_____	_____	_____	_____
_____	_____	_____	_____

Set up Time/Day Tear down Time / Day* Rain Date (if applicable)

* Tear down time will be strictly enforced. It is the applicant's responsibility to ensure the teardown of all materials with their on-site vendors, sponsors, etc. is complete by the teardown time given above.

ORGANIZATION / APPLICANT INFORMATION

Applications for Civic Events in the City of Brighton shall NOT be approved for applicants in default to the City. Therefore, each Application for Civic Events shall be routed to the Finance Department for a determination of any defaults to the City. In the event a default to the City exists, the Application shall be disapproved by the Finance Department, with the nature of the default described as the reason of the disapproval.

TAX IDENTIFICATION NUMBER: EIN 26-3442008; section 501 (c) (3)

BRIEF DESCRIPTION OF ORGANIZATION'S PURPOSE AND/OR FUNCTION:

tax exemption status

To raise funds and awareness for the A21 Campaign -
an organization that helps fight human
trafficking.

IS THE ORGANIZATION NON-PROFIT?

YES

NO

If yes, attach a copy of the organizations Sales Tax Exempt Certificate.

DOES YOUR GROUP PRESENTLY HAVE LIABILITY INSURANCE?

YES

NO

GENERAL LIABILITY INSURANCE IS REQUIRED NAMING THE CITY OF BRIGHTON AS ADDITIONAL INSURED. IF FOOD IS BEING SERVED, PRODUCT LIABILITY MUST BE INCLUDED. LIMITS OF LIABILITY SHOULD BE NO LESS THAN \$1,000,000 COMBINED SINGLE LIMIT FOR BODILY INJURY AND PROPERTY DAMAGE.

EVENTS THAT INCLUDE THE SALE OR DISTRIBUTION OF ALCOHOL MUST HAVE A SPECIAL EVENT LIQUOR LIABILITY POLICY IN AN AMOUNT NOT LESS THAN \$1,000,000, NAMING THE CITY OF BRIGHTON AS ADDITIONALLY INSURANCED. THIS POLICY IS IN ADDITION TO THE COMPREHENSIVE LIABILITY INSURANCE.

PLEASE GIVE A DESCRIPTION OF THE PROPOSED CIVIC EVENT. (Attach additional pages if necessary)

The event is a 2.7 mile walk around Livingston
County (Down town Brighton), ending with a meeting
and starting at the Mill Pond.

ANNUAL EVENT: Is this event expected to occur next year?

YES

NO

If Yes, you can reserve a date for next year with this application). To reserve dates for next year, please provide the following information:

Normal Event Schedule (e.g., third weekend in July): _____

or

Next year's specific date(s): _____

PROCEEDS OF THIS EVENT WILL BE USED FOR:

→ helping to fight human trafficking using an international organization called "the A21 Campaign". They specialize in prevention, protection, prosecution and partnership to combat this crime.

IF THE PROPOSED CIVIC EVENT IS A PARADE OR RUN/WALK EVENT, PLEASE LIST THE POINT OF ORIGIN, PATH, TERMINATION POINT, NUMBER OF ENTRIES AND TRAFFIC CONTROL PLAN AS NECESSARY. (Use attached map to clarify the route)

IF THE PROPOSED CIVIC EVENT IS A RUN/WALK EVENT, WILL YOU BE PROVIDING VOLUNTEERS AT ALL ROAD CROSSINGS?

YES

NO

↳ major road crossings, yes.

WILL THESE VOLUNTEERS BE WEARING SHIRTS IDENTIFYING THEM AS VOLUNTEERS AS WELL AS REFLECTIVE SAFETY VESTS?

YES

NO

ARE YOU PLANNING TO CHARGE AN ADMISSION FEE?

YES

NO

IF YES, WHAT KIND AND HOW MUCH?

DO YOU PLAN ON UTILIZING VENDORS AND/OR EXHIBITORS FOR SALES OF ANY KIND?

YES

NO

IF YES, COMPLETELY FILL OUT THE ATTACHED VENDOR CONTACT INFORMATION SHEET(S).

WHAT IS THE FEE CHARGED FOR EACH VENDOR? _____

DO YOU PLAN TO CONTRIBUTE REVENUES RECEIVED FROM THIS EVENT TO LOCAL ORGANIZATIONS AND/OR COMMUNITY GROUPS? YES NO

IF YES, TO WHOM AND HOW MUCH?

Not directly - AZI uses the money to combat human trafficking all over the U.S.

WHAT IS THE EXPECTED ATTENDANCE FOR THIS EVENT? 1-2 hundred people.

DO YOU PLAN ON SUPPLYING ADDITIONAL RESTROOM FACILITIES? YES NO

NUMBER OF VOLUNTEERS / STAFF? 10

HOW WILL THE VOLUNTEERS / STAFF BE IDENTIFIED? _____

Lanyard name tags

HOW WILL THIS EVENT BENEFIT THE RESIDENTS AND/OR IMPROVE THE QUALITY OF LIFE IN THE CITY OF BRIGHTON?

Human trafficking is a crime that affects every State. Michigan is the 2nd worst state in all of the U.S. for sex trafficking.

Educating people in Brighton will ~~keep~~ give them ways to stop and/or prevent it in this community.

ELECTRICAL SERVICES REQUIRED (Please Be as Accurate as Possible)

/

OTHER UTILITIES REQUIRED (Please Be as Accurate as Possible)

/

CITY FACILITIES REQUESTED (Please Be as Accurate as Possible)

Mill Pond gazebo

DO YOU PLAN TO UTILIZE OFF-SITE PARKING FACILITIES YES NO

IF SO, WHAT LOCATION IS PLANNED? _____

WHAT IS YOUR PLAN FOR TRANSPORTATION FROM THE PARKING AREA TO THE EVENT LOCATION?

X SIGNAGE REQUESTED (Detail sign locations on the attached map and provide sign renderings)

Number of Signs 5 (held by people / crossing guards)

Types of Signs direction signs

Locations of Signs Indicated on attached map

Date Signs Posted Morning of during walk (signs held by people)

Date Signs Removed directly after walk.

PLEASE ATTACH LIST OF EQUIPMENT; STAGE, TENTS, VEHICLES, ETC., THAT YOU PROPOSE TO USE IN THE EVENT OR BRING ONTO CITY PROPERTY, STREETS OR PARK AREAS - (ALL SUBJECT TO APPROVAL).

STREET CLOSURE

ARE YOU REQUESTING A STREET CLOSURE FOR YOUR EVENT? YES NO

If yes, detail the street(s) you would like closed, and the location of the closure(s) on the attached map.

ALCOHOL

DO YOU WANT TO SELL AND/OR SERVE ALCOHOL? YES NO

IF YES, PLEASE SEE THE ATTACHED SHEET TITLED "ALCOHOL" AND FILL IN THE QUESTIONS COMPLETELY AND IN DETAIL.

SECURITY

N/A

If the event requires the overnight setup or storage of goods, equipment, etc. security is the responsibility of the event applicant.

IF YOUR EVENT REQUIRES OVERNIGHT SECURITY, PLEASE PROVIDE THE FOLLOWING DETAILS OF YOUR SECURITY PLAN:

ON SITE REPRESENTATIVES NAMES AND CONTACT NUMBERS:

<u>Name</u>	<u>Contact number</u>
<u>Amy Rollo</u>	<u>734-355-0000</u>
<u>Peter Rollo</u>	<u>248-946-2424</u>
<u>Mariah Morozow</u>	<u>810-299-1373</u>

Owner(s) Affidavit*

I, A21 Campaign, have authorized Amy Rolo as My
(company or organization owner) (Civic Event Applicant)

Representative for the purpose of obtaining a Civic Event permit(s) from the City of Brighton Public

Services Department for my organization located at 427 E. 17th St. # F223 Costa Mesa
(company or organization address) CA 92627

U.S.A

Amy Rolo
Owners Signature

March 29, 2016
Date

INDEMNIFICATION AGREEMENT

The A21 Campaign agree(s) to defend, indemnify, and hold harmless the City of
(business/organization)

Brighton, Michigan, from any claim, demand, suit, loss, cost of expense, or any damage that may be

asserted, claimed or recovered against or from the A21 Campaign and/or the City of
(business/organization)

Brighton, by reason of any damage to property, personal injury or bodily injury, including death,

sustained by any person whomsoever and which damage, injury or death arises out of or is incident to or

in any way connected with the performance of this contract, and regardless of which claim, demand,

damage, loss, cost of expense is caused in whole or in part by the negligence of the City of Brighton or

by third parties, or by the agents, servants, employees or factors of any of them.

Signature [Signature] Date 05/09/16

X Witness [Signature] Date 5/9/16

VOLUNTEER CONTACT INFORMATION

	Name	Address	Phone #	Emergency Contact Name	Emergency Contact Phone #
1)	Amy Rolto	4212 Deeside Dr. Brighton, MI 48116	734-355-0000	Peter Rolto (husband)	248-946-2424
2)	Mariah Morzaw	2690 Shelly Ave. Brighton, MI 48114	810-299-1373	Brent McDonald	810-588-7356
3)	Ali Walker	1624 Town Commons Dr. Howell, MI 48855	734-904-5528	Eric Walker	248-417-3572
4)	Eric Anderson	7838 Summer Breca Trail, Howell MI 48843	517-861-6718	Amy Anderson	517-672-6193
5)	Brittany Jacobson	1010 Leffingwell Ave NE #204, Grand Rapids MI, 49525	231-735-6835	Joel Jacobson (husband)	231-342-5802
6)	Cass Webber	1243 Catherinus Way, Howell MI 48843	810-360-7488	Dennis Webber	517-404-8849
7)	Chad Cronin	2413 Summit Cedar Dr. Howell, MI 48855	517-899-9943	Jenny Cronin	517-898-4394
8)	Amanda Mae Lauch	1356 Eisenhower Lane Milan, MI 48160	734-380-3311	Rico Lauch	734-395-2443
9)	Peter Rolto	4212 Deeside Dr. Brighton, MI 48116	248-946-2424	Amy Rolto	734-355-0000
10)					



CITY OF BRIGHTON

REPORT FROM THE CITY MANAGER TO CITY COUNCIL

MAY 25, 2016

**SUBJECT: CONSIDERATION OF SITE PLAN APPROVAL #16-002
HOLIDAY INN EXPRESS (Nemco Way & Murphy Dr.)**

ADMINISTRATIVE SUMMARY

- Asmar Holdings Inc. is proposing to construct a four story, 93 room hotel, at the northwest corner of Murphy Drive and Nemco Way. The site is approximately 5 acres in size and the developer is proposing to construct the hotel on the north half of the site with a second hotel or a restraint proposed for the future on the south half of the site. The existing Holiday Inn Express in Brighton is owned by Asmar Holdings Inc. and will be rebadged with the opening of the new hotel. The proposed hotel will have 110 parking spaces.
- The initial submittal showed a single access to the site from the north off of Nemco Way. The Planning Commission required a second access be provided for off of Murphy Drive which has been added on the second, revised site plan.
- Sidewalks along Nemco Way and Murphy Drive were requested by the Planning Commission.
- The location of a potential driveway off of Murphy will require relocating the dumpster enclosure. The City Engineer found the location of the drive (150 ft. from Challis) to be acceptable despite not meeting the City's Design and Construction Standards.
- A remote emergency access has been provided pursuant to the BAFA and Livingston County Planning request at the southwest portion of the site. However, the access route runs through the Independence Village parking lot and will encroach on several parking spaces, spaces which will have to be striped out with the owner's permission.

RECOMMENDATION

The Planning Commission is recommending approval with conditions as stipulated in the attached minutes. It is recommended that site plan #16-002, Holiday Inn Express, be approved pursuant to the conditions as listed in the minutes from the May 16, 2016 Planning Commission Meeting.

Prepared by: Matthew R. Modrack,
DDA / Community Development Director

Approved by: Nate Geinzer,
City Manager

**City of Brighton
Planning Commission
Meeting Minutes
May 16, 2016**

1. Call to Order/Roll Call

Chairperson Monet called the meeting to order at 7:30 p.m.

The following Commissioners were present:

Jim Bohn	William Bryan
Steve Monet	Susan Gardner
Dave Petrak	Michael Schutz
David McLane	Robert Pawlowski
Matt Smith	

Also present was Nate Geinzer, City Manager; Gary Markstrom of TTMPs, Rob Stanford and Scott Barb of Livingston County Planning, and an audience of 6.

2. Approval of the April 18, 2016 Regular Meeting Minutes

Motion by Commissioner Petrak, supported by Commissioner McLane, to approve the April 18, 2016 regular meeting minutes as presented. **The motion carried 8-0-1, with Commissioner Smith abstaining.**

3. Approval of the May 16, 2016 Agenda

Motion by Commissioner Smith, supported by Commissioner Pawlowski, to approve the agenda as presented. **The motion carried 9-0-0.**

4. Call to the Public

The call to the public was made at 7:31 pm.

Mr. Martin Halloran of 624 W. Main Street lives next to Lynch Funeral Home. He wants to ensure that there is not going to be any work done in the easement between his home and the funeral home property.

The call to the public was closed at 7:32 pm.

New Business

5. Site Plan Amendment – 8539 W. Grand River, Potbelly's / Vitamin Shop - #16-003

Mr. Geinzer stated that the applicant is not present this evening.

Chairman Monet stated that both the planner and engineer are recommending denial of this request.

Motion, by Commissioner Smith, supported by Commissioner Gardner, to deny the request by Leka Pecaj for a site plan amendment at 8539 W. Grand River. **The motion carried 9-0-0.**

6. Site Plan – Lynch & Sons Funeral Home – Parking Lot Improvements, 600 E. Main Street #16-004

Mr. Wayne Perry of Desine, Inc. gave a review of the proposed project. They would like to lower the grade of the parking lot, repave it, provide ADA access, and install new landscaping, lighting, a fence and a retaining wall. He noted that currently the parking lot is on a portion of the easement addressed by Mr. Halloran. They are proposing to remove the parking lot from this area and replace it with grass and / or landscaping.

Mr. Perry stated he will meet all of the requirements in the engineer's letter dated May 5, 2016; however, it is not possible to achieve and 8 percent grade in the parking lot as requested. Mr. Markstrom does not feel this will be a problem since the 10 percent grade is only at the entrance.

Motion by Commissioner Pawlowski, supported by Commission Bryan, to recommend to City Council approval of the Site Plan for Lynch & Sons Funeral Home as presented. **The motion carried 9-0-0.**

Other Business

7. Site Plan – Holiday Inn Express, Brighton Towne Square (revised plan) - #16-002.

Mr. Kevin Staley of PEA and Jimmy Asmar of Asmar Holdings, Inc. were present.

Mr. Staley stated they have addressed the three outstanding items discussed at the last Planning Commission meeting. They have revised the emergency access and feel it will meet the requirements of the Brighton Area Fire Authority. They have not received a review letter from them.

They are proposing to place an access drive on the south portion of the site onto Murphy Drive, which will be 250 feet from the Challis Road intersection. They will not be able to meet the 150 foot distance requirement from the driveway of the development across Murphy Drive; however, there is no left-turn conflict with this drive. He noted that Asmar Holdings has acquired the southern portion of the property to develop; however, they are not certain what

will be placed there. They are proposing to not install the roadway at this time as they would like to be able to move the drive inside the parcel at that time. They will install the curb cut. They will provide an access drive from the property to the north to the property to the south.

Mr. Asmar showed colored renderings of the elevations. The building will be 100 percent brick and accent stone.

Mr. Stanford suggested that "No Parking – Fire Access" signs be placed at the emergency access drive. He agreed with Mr. Staley that the access drive on Murphy does not meet the 150-foot requirements as it is only 140 feet from that driveway. They have met all of their other outstanding requirements and he is recommending approval conditioned upon approval of the emergency access drive from the Brighton Area Fire Authority as well as approval from the engineer of the driveway onto Murphy Drive.

Motion by Commissioner Petrak, seconded by Commissioner Schutz, to recommend to City Council approval of the Site Plan for Holiday Inn Express, Brighton Towne Square, with the following conditions:

1. Approval of the emergency access drive by the Brighton Area Fire Authority
2. Final engineering approval of the driveway onto Murphy Drive

The motion carried 9-0-0.

8. Staff Updates

Mr. Geinzer stated there will be a joint meeting between City Council, the Planning Commission, and the consultant who will be performing the ordinance updated on Monday, June 6, 2016 at 6:30 pm in the council chambers.

9. Commissioners Report

Commissioner Smith asked if he could still receive copies of the meeting packets, even when he is not able to attend.

Commissioner Petrak questioned if there is an ordinance with regard to B&B's or short-term rentals in residential neighborhoods. Mr. Geinzer stated this can be addressed during the ordinance update.

10. Call to the Public

The call to the public was made at 8:16 pm with no response.

11. Adjournment

Motion by Commissioner Smith, supported by Commissioner Bohn, to adjourn the meeting at 8:16 pm. **The motion carried 9-0-0.**

Planning Commission Meeting Minutes
May 16, 2016

Bill Bryan, Secretary

Patty Thomas, Recording Secretary

PRELIMINARY SITE PLAN/FINAL SITE PLAN DRAWINGS FOR
HOLIDAY INN EXPRESS
BRIGHTON TOWNE SQUARE
 A PART OF SE 1/4 SECTION 24, T2N, R5E
 CITY OF BRIGHTON, LIVINGSTON COUNTY, MICHIGAN

APPLICANT
 ASMAR HOLDINGS, INC.
 32825 NORTHWESTERN HIGHWAY
 FARMINGTON HILLS, MICHIGAN 48334
 PHONE: 248-553-4200
 CONTACT: MR. JIMMY ASMAR
 EMAIL: JIMMY@ASMARCAPITAL.COM

OWNER
 STUART EASY STORAGE, INC.
 17000 KERCHEVAL, SUITE 212
 GROSSE POINTE, MICHIGAN 48230
 PHONE: 313-640-7939
 CONTACT: MR. RANDY SANOCKI
 EMAIL: RANDY@ARGUSGRP.COM

ARCHITECT
 THINK SHOP ARCHITECTS
 9039 RIVERSIDE DRIVE
 BRIGHTON, MICHIGAN 48116
 PHONE: 810-844-0736
 FAX: 810-299-3009
 CONTACT: KEITH A. PHILLIPS, AIA
 EMAIL: KPHILLIPS@THETHINKSHOP.US

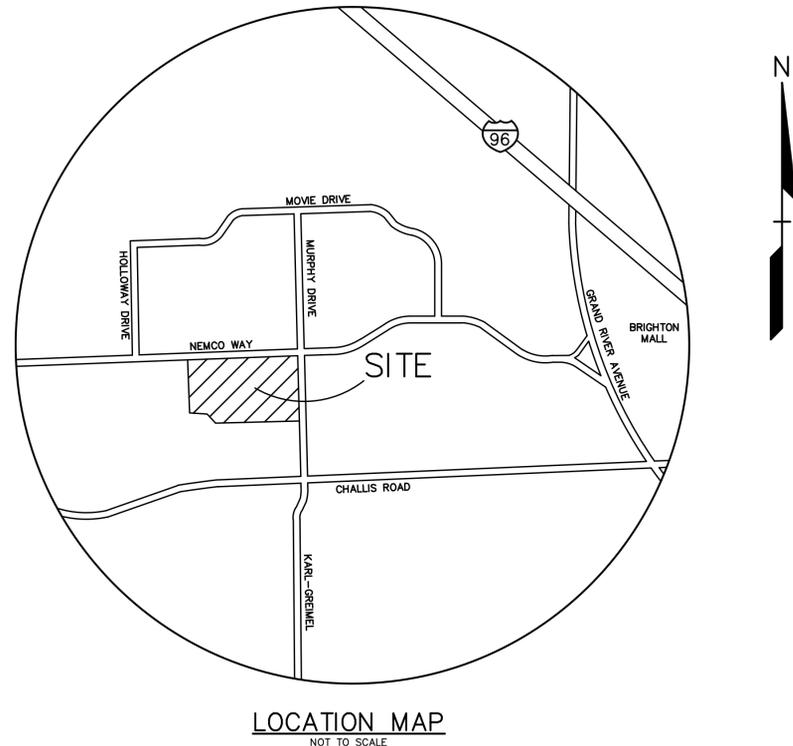
CIVIL ENGINEER, LAND SURVEYOR
 PEA, INC.
 7927 NEMCO WAY, SUITE 115
 BRIGHTON, MICHIGAN 48116
 PHONE: 517-546-8583 EXT. 239
 FAX: 517-546-8973
 CONTACT: KEVIN C. STALEY, P.E.
 EMAIL: KSTALEY@PEAINC.COM

GENERAL UTILITY NOTES:

- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES, WHICH MIGHT AFFECT THIS JOB.
- UNLESS OTHERWISE INDICATED, ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT OR SIDEWALK, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH MDOT CLII SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO TOWNSHIP, COUNTY AND MDOT STANDARDS.
- TAP EXISTING UTILITIES AS SHOWN AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITY. RESTORE DISTURBED PAVEMENT OR GREENBELT AREAS PER THE PLANS AND TO THE SATISFACTION OF THE GOVERNING AUTHORITY.
- EXACT GRADES AND DEPTHS OF UTILITIES ARE TO BE CHECKED CLOSELY WITH THE FIELD ENGINEER PRIOR TO INSTALLATION.

LEGAL DESCRIPTION
 DESCRIPTION OF 4.98 ACRE PARCEL OF LAND COMMENCING AT THE SOUTHEAST CORNER OF SECTION 24, T2N, R5E, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN; THENCE S89°18'25"W 681.64 FEET ALONG THE SOUTH LINE OF SAID SECTION 24, AND THE CENTERLINE OF CHALLIS ROAD (VARIABLE WIDTH); THENCE N00°02'01"W 78.89 FEET; THENCE S88°09'43"W 65.03 FEET ALONG THE NORTH LINE OF SAID CHALLIS ROAD FOR A PLACE OF BEGINNING; THENCE CONTINUING S88°09'43"W 339.15 FEET ALONG THE NORTH LINE OF SAID CHALLIS ROAD; THENCE N01°05'09"W 221.32 FEET; THENCE N42°08'18"W 93.13 FEET; THENCE N85°05'55"W 77.09 FEET; THENCE N01°07'16"W 231.61 FEET; THENCE N88°52'44"E 486.19 FEET; THENCE S00°05'50"E 527.13 FEET TO THE PLACE OF BEGINNING, BEING PART OF THE SOUTHEAST 1/4 OF SAID SECTION 24, CONTAINING 4.98 ACRES OF LAND, MORE OR LESS, SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

FLOODPLAIN NOTE:
 BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X'. AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26093C03450, DATED SEPTEMBER 17, 2008.



INDEX OF DRAWINGS:

C-01	COVER SHEET
C-02	MIXED USE DEVELOPMENT AMENDMENT
C-03	TOPOGRAPHICAL SURVEY
C-04	DEMOLITION PLAN
C-05	FIRE ACCESS PLAN
C-06	SITE PLAN
C-07	GRADING & SESC PLAN
C-08	UTILITY PLAN
C-09	STORM SEWER PROFILES
C-10	DETAIL SHEET
L-01	LANDSCAPE PLAN
1 OF 1	SITE LIGHTING

CITY OF BRIGHTON STANDARD DETAIL SHEETS
 ROADWAY, PARKING & SIDEWALK
 SANITARY SEWER
 STORM SEWER & STREET DETAILS
 WATER MAIN SHEET 1
 WATER MAIN SHEET 2

ARCHITECTURAL SHEETS (FOR REFERENCE ONLY)
 A-1.1 FLOOR PLAN AND ELEVATION

SITE DATA

ZONING:	OR
SETBACKS:	FRONT: 100 FT. SIDE: 50 FT. REAR: 100 FT.
PROPOSED DEVELOPMENT:	BUILDING HEIGHT: 4 STORIES OR 45' (MAX.) ROOMS: 106
CURRENT LOT AREA:	4.98 AC. 216,741 SF.
PROPOSED PROJECT LOT AREA:	2.58 AC. 112,354 SF.
BUILDING COVERAGE:	35% MAX. 14% PROVIDED 15,539 SF.
PARKING:	REQUIRED: 110 SPACES (INC. 5 BARRIER FREE) PROVIDED: 114 SPACES (1 SPACE PER ROOM & 1 PER EMPLOYEE)

NOT FOR CONSTRUCTION

NO.	BY	DATE	DESCRIPTION
1	TL	KS	PLANNING COMMISSION REVIEW
2	TL	KS	SITE PLAN REVIEW NO.1
3	TL	KS	SITE PLAN REVIEW NO.2
4	TL	KS	SITE PLAN REVIEW NO.3
5	TL	KS	SITE PLAN REVIEW NO.4
6	TL	KS	SITE PLAN REVIEW NO.5
7	TL	KS	SITE PLAN REVIEW NO.6
8	TL	KS	SITE PLAN REVIEW NO.7
9	TL	KS	SITE PLAN REVIEW NO.8
10	TL	KS	SITE PLAN REVIEW NO.9
11	TL	KS	SITE PLAN REVIEW NO.10
12	TL	KS	SITE PLAN REVIEW NO.11
13	TL	KS	SITE PLAN REVIEW NO.12
14	TL	KS	SITE PLAN REVIEW NO.13
15	TL	KS	SITE PLAN REVIEW NO.14
16	TL	KS	SITE PLAN REVIEW NO.15
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100	TL	KS	SITE PLAN REVIEW NO.99
101	TL	KS	SITE PLAN REVIEW NO.100

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ASMAR HOLDINGS, INC.
 32825 NORTHWESTERN HIGHWAY
 FARMINGTON HILLS, MICHIGAN 48334

COVER SHEET
HOLIDAY INN EXPRESS
 PART OF THE SE 1/4 OF SECTION 24, T2N, R5E,
 CITY OF BRIGHTON, LIVINGSTON COUNTY, MICHIGAN

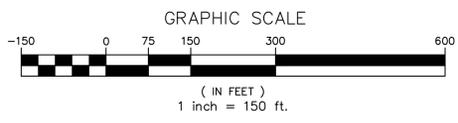
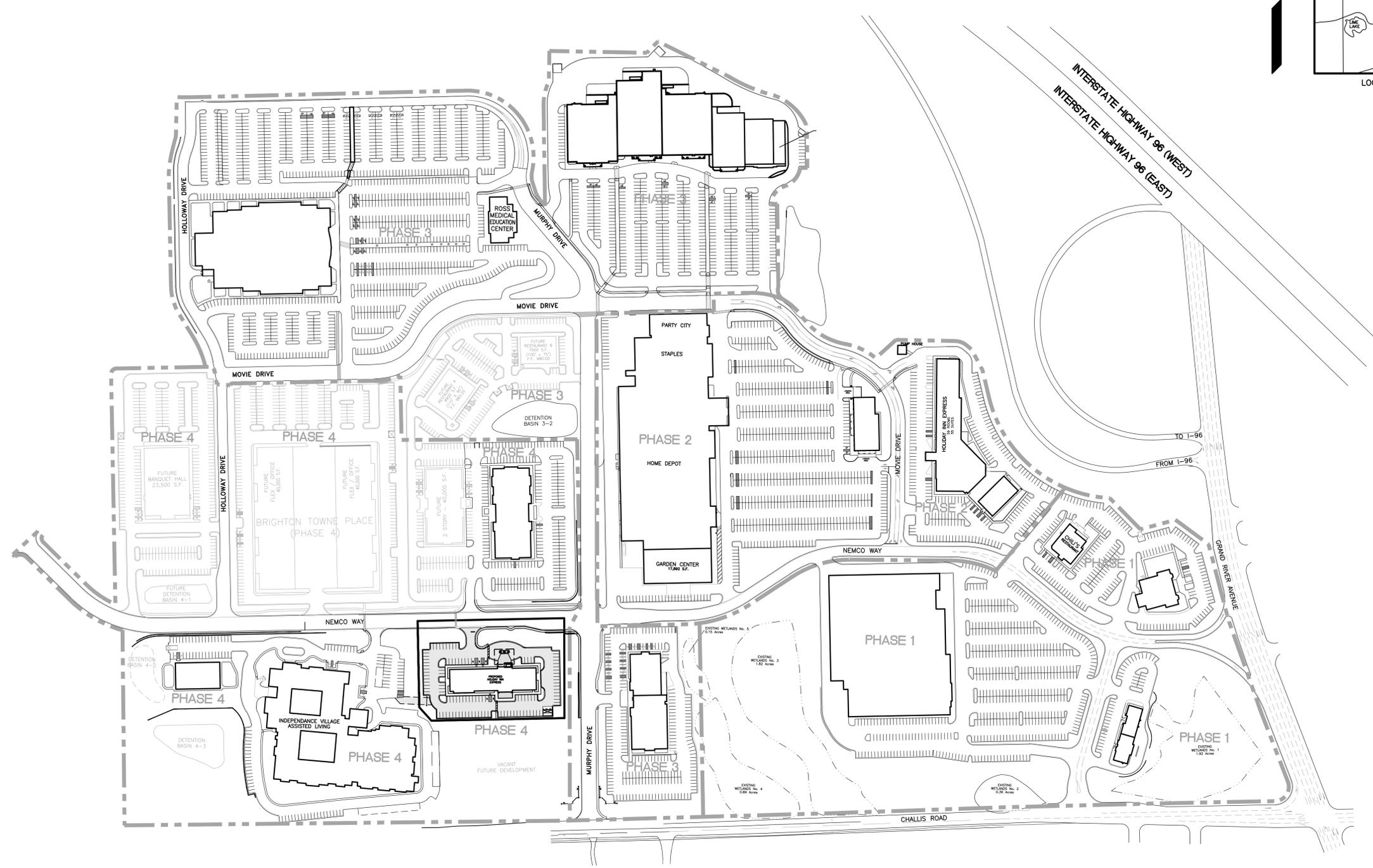
DES. TL DN IB SUR. JW P.M. KS

ORIGINAL ISSUE DATE:
 MARCH 11, 2016

PEA JOB NO. 2016-019

SCALE: NONE

DRAWING NUMBER:
C-01



REVISIONS		DATE
4	KS	4-29-16
3	KS	4-29-16
2	TL	KS
1	TL	KS
0	TL	KS

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MIXED USE DEVELOPMENT AMENDMENT
HOLIDAY INN EXPRESS
PART OF THE SE 1/4 OF SECTION 24, T.2N, R.5E,
CITY OF BRIGHTON, LIVINGSTON COUNTY, MICHIGAN

DES. TL DN IB SUR. JW P.M. KS

ORIGINAL ISSUE DATE:
MARCH 11, 2016

PEA JOB NO. 2016-019

SCALE: 1" = 150'

DRAWING NUMBER:

C-02

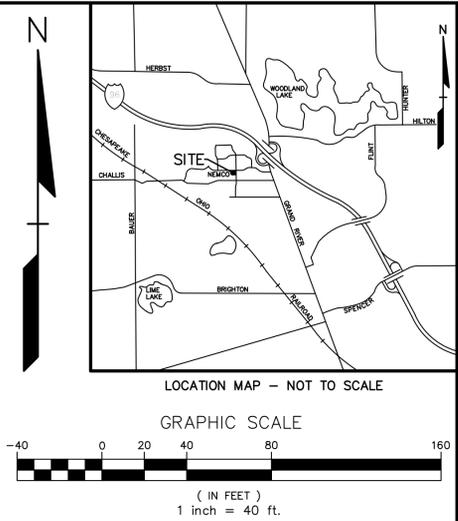
NOT FOR CONSTRUCTION

BENCHMARKS

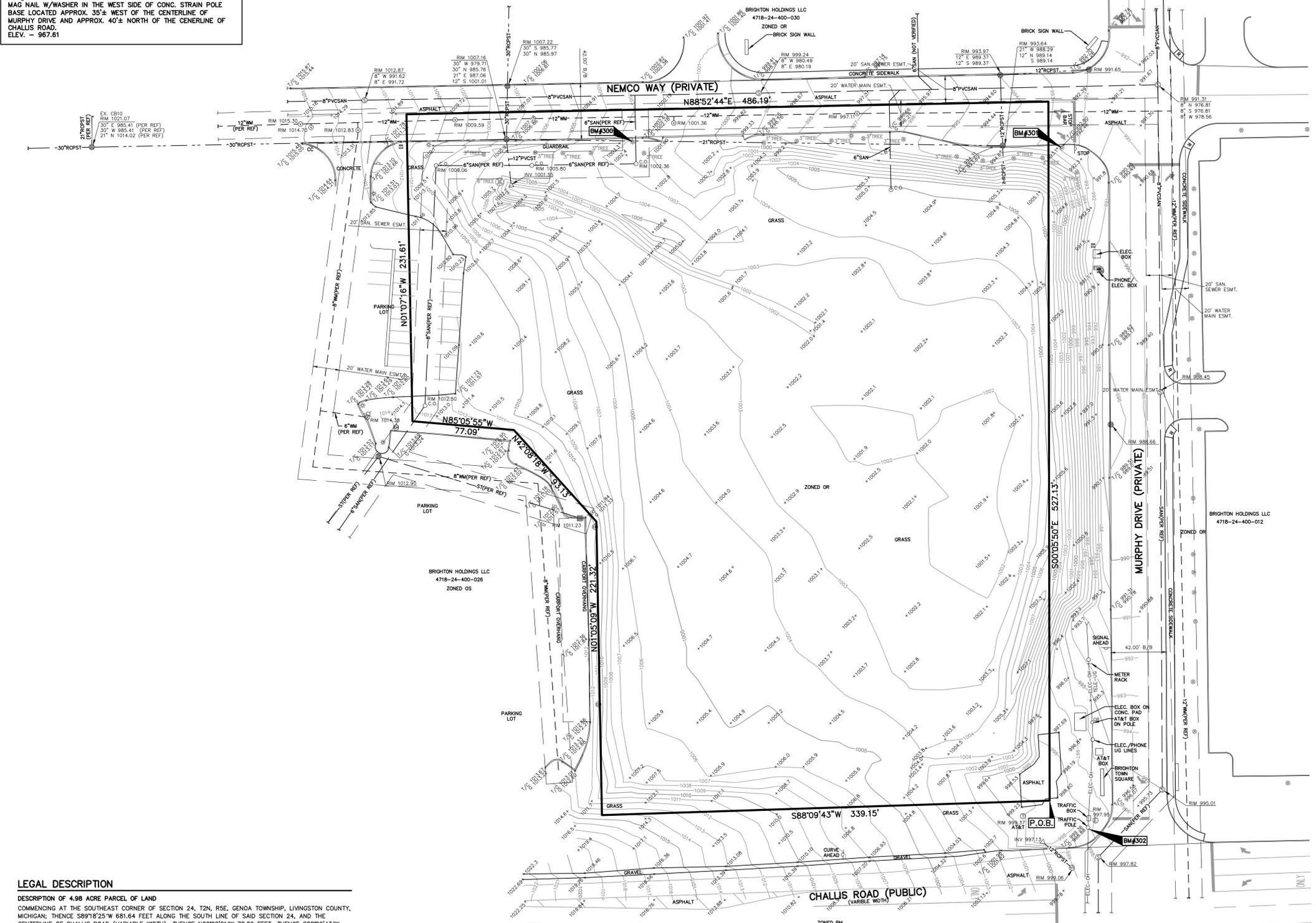
BM #300
MAG NAIL W/WASHER IN TOP SOUTH SIDE OF LIGHT POLE BASE LOCATED APPROX. 125'± WEST OF THE WEST BUILDING LINE OF #7927 NEMCO WAY AND APPROX. 23'± SOUTH OF THE CENTERLINE OF NEMCO WAY. ELEV. - 973.87

BM #301
MAG NAIL W/WASHER IN TOP SOUTH SIDE OF LIGHT POLE BASE LOCATED APPROX. 30'± SOUTH OF THE CENTERLINE OF NEMCO WAY AND APPROX. 52'± WEST OF THE CENTERLINE OF MURPHY DRIVE. ELEV. - 962.83

BM #302
MAG NAIL W/WASHER IN THE WEST SIDE OF CONC. STRAIN POLE BASE LOCATED APPROX. 35'± WEST OF THE CENTERLINE OF MURPHY DRIVE AND APPROX. 40'± NORTH OF THE CENTERLINE OF CHALLIS ROAD. ELEV. - 967.61



REVISIONS		DATE
1	KS	4-29-16
2	TL	5-11-16
3	KS	5-11-16
4	TL	5-11-16
5	KS	5-11-16
6	TL	5-11-16
7	KS	5-11-16
8	TL	5-11-16
9	KS	5-11-16
10	TL	5-11-16



- LEGEND**
- IRON FOUND
 - ⊗ IRON SET
 - ⊙ NAIL FOUND
 - ⊚ NAIL & CAP SET
 - ⊕ BRASS PLUG SET
 - ⊗ MONUMENT FOUND
 - ⊙ MONUMENT SET
 - ⊕ SEC. CORNER FOUND
 - ⊗ MEASURED
 - ⊙ CALCULATED
- EXISTING**
- OH-ELEC-4" C ELEC. PHONE OR CABLE TV OH. LINC. POLE & GUY WIRE
 - UG-CATV-4" UNDERGROUND CABLE TV, CATV PEDESTAL
 - UG-UG-PHONE-4" TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
 - UG-ELEC-4" ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
 - GAS MAN, VALVE & GAS LINE MARKER
 - WATERMAN, FITS, GUY, VALVE, PUMPING SLUICE & VALVE
 - SANITARY CENK, CLEANOUT & MANHOLE
 - STORM SEWER, CLEANOUT & MANHOLE
 - COMBINED SEWER & MANHOLE
 - CATCH BASIN, INLET, YARD DRAIN
 - POST INDICATOR VALVE
 - WATER MILE PERMANENT VALVE BOX, SERVICE SHUTOFF
 - METER, TRANSFORMER, IRRIGATION CONTROL VALVE
 - UNIDENTIFIED STRUCTURE
 - SPOT ELEVATION
 - 670 CONTOUR LINE
 - FENCE
 - GUARD RAIL
 - STREET LIGHT
 - SIGN
 - CONC. CONCRETE
 - ASPH. ASPHALT
 - GRAVEL GRAVEL SHOULDER
 - WETLAND WETLAND

- REFERENCE DRAWINGS**
- WATER MAIN ATWELL HICKS EXISTING UTILITIES DRAWING S:\PROJECTS\2016\2016-019 SURVEY-DEPT\ RECEIVED\ATWELL\300345\BASE\300345\WB.DWG
 - WATER MAIN ATWELL HICKS TOPO BASE DRAWING S:\PROJECTS\2016\2016-019 SURVEY-DEPT\ RECEIVED\ATWELL\300074\WB.DWG
 - SANITARY ATWELL HICKS EXISTING UTILITIES DRAWING S:\PROJECTS\2016\2016-019 SURVEY-DEPT\ RECEIVED\ATWELL\300345\BASE\300345\WB.DWG
 - SANITARY ATWELL HICKS TOPO BASE DRAWING S:\PROJECTS\2016\2016-019 SURVEY-DEPT\ RECEIVED\ATWELL\300074\WB.DWG
 - STORM PIPE SIZES & EX. CB10 INVERTS FROM URSRENER WOODWARD CLYDE STORM SEWER DESIGN S:\PROJECTS\2016\2016-019 BRIGHTON TOWNE SQUARE\DWG\BRIGHTON TOWNE SQUARE\URS\ 9-11-16\UTL\CALCULATIONS\PHASE 4\ STWALSPH\UPDATED\ 1-18-00.XLS

LEGAL DESCRIPTION

DESCRIPTION OF 4.98 ACRE PARCEL OF LAND COMMENCING AT THE SOUTHEAST CORNER OF SECTION 24, T2N, R5E, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN; THENCE S89°18'25" W 681.64 FEET ALONG THE SOUTH LINE OF SAID SECTION 24, AND THE CENTERLINE OF CHALLIS ROAD (VARIABLE WIDTH); THENCE N00°02'01" W 78.89 FEET; THENCE S88°09'43" W 66.03 FEET ALONG THE NORTH LINE OF SAID CHALLIS ROAD FOR A PLACE OF BEGINNING; THENCE CONTINUING S88°09'43" W 339.15 FEET ALONG THE NORTH LINE OF SAID CHALLIS ROAD; THENCE N01°05'09" W 221.32 FEET; THENCE N42°08'18" W 93.13 FEET; THENCE N85°05'55" W 77.09 FEET; THENCE N01°07'16" W 231.61 FEET; THENCE N88°52'44" E 486.19 FEET; THENCE S00°05'50" E 527.13 FEET TO THE PLACE OF BEGINNING, BEING PART OF THE SOUTHEAST ¼ OF SAID SECTION 24, CONTAINING 4.98 ACRES OF LAND, MORE OR LESS, SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

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BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X'. AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26093C0345D, DATED SEPTEMBER 17, 2008.

NATURAL FEATURES NOTE:
ALL EXISTING TREES TO REMAIN. REFER TO LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.

CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS GIVEN FOR THE ACCURACY OF THESE UTILITIES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR VERIFYING THE EXACT UTILITIES LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY TO ALL CONTRACTORS AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR'S RESPONSIBILITY TO NOTIFY INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARBORERS FROM ANY AND ALL LIABILITIES, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONALS.

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FARMINGTON HILLS, MICHIGAN 48334

TOPOGRAPHICAL SURVEY
HOLIDAY INN EXPRESS
PART OF THE SE ¼ OF SECTION 24, T.2N., R.5E.
CITY OF BRIGHTON, LIVINGSTON COUNTY, MICHIGAN

DES. TL DN IB SUR. JW P.M. KS
S:\PROJECTS\2016\2016-019 BRIGHTON TOWNE SQUARE\DWG\Site Plans\C-03-1000 SITE PLAN-10019.dwg

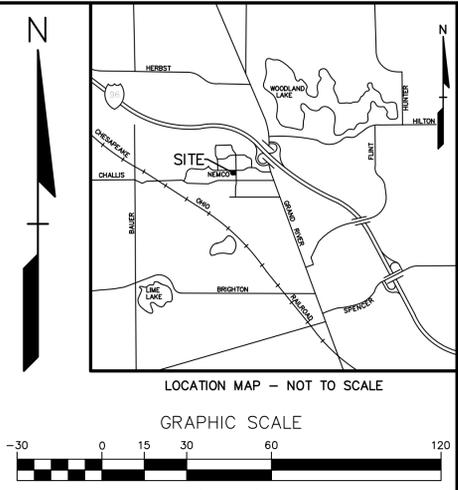
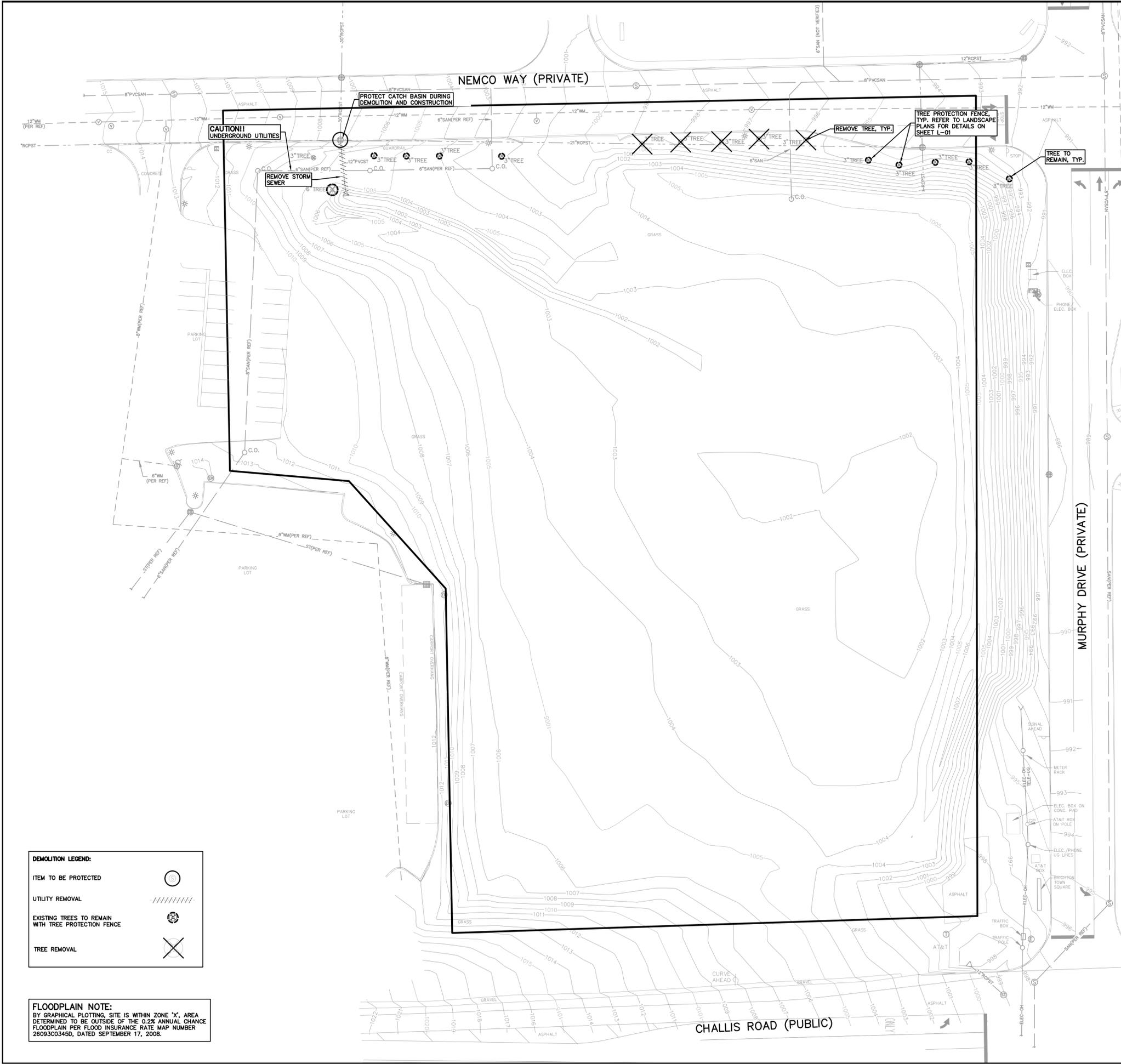
ORIGINAL ISSUE DATE:
MARCH 11, 2016

PEA JOB NO. 2016-019

SCALE: 1" = 40'

DRAWING NUMBER:
C-03

NOT FOR CONSTRUCTION



LEGEND

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊙ IRON SET	⊗ MONUMENT FOUND	⊙ RECORDED
⊙ NAIL FOUND	⊗ MONUMENT SET	⊙ MEASURED
⊙ NAIL & CAP SET		⊙ CALCULATED

EXISTING

—OH-ELEC—H—C—	ELEC. PHONE OR CABLE TV OH. LINE, POLE & GUY WIRE
—UG-CATV—	UNDERGROUND CABLE TV, CATV PEDESTAL
—UG-UG—PHONE—	TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
—UG-ELEC—	ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
—GAS—	GAS MAIN, VALVE & GAS LINE MARKER
—WATER—	WATER MAIN, HYD. DATE VALVE, TAPPING SLIDE & VALVE
—SEWER—	SANITARY SEWER, CLEANOUT & MANHOLE
—STORM—	STORM SEWER, CLEANOUT & MANHOLE
—COMB—	COMBINED SEWER & MANHOLE
⊙ C.D.	CATCH BASIN, INLET, YARD DRAIN
⊙ P.I.V.	POST INDICATOR VALVE
⊙ W.V.	WATER VALVE (BR/FRONT VALVE BOX, SERVICE SHUTOFF)
⊙ M.T.	METER, TRANSFORMER, IRRIGATION CONTROL VALVE
⊙ U.S.	UNIDENTIFIED STRUCTURE
816.06	SPOT ELEVATION
—E70—	CONTOUR LINE
—F—	FENCE
—GR—	GUARD RAIL
—SL—	STREET LIGHT
—S—	SIGN

CONC. CONCRETE

ASPH. ASPHALT

GRAVEL GRAVEL SHOULDER

WETLAND WETLAND

- GENERAL DEMOLITION NOTES:**
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:
- ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
 - ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
 - STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND THE CONTRACTOR PRIOR TO CONSTRUCTION.
 - SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.
 - REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES FOUNDATIONS, FOOTINGS, FOUNDATION WALLS, FLOOR SLABS, UNDERGROUND UTILITIES, CONCRETE, ASPHALT, TREES, ETC.
 - REFER TO SHEET L-01 FOR TREE PROTECTION DETAILS.
 - THE CONTRACTOR SHALL, AS A MINIMUM, PROVIDE TREE PROTECTION FENCING AROUND EXISTING TREES TO BE SAVED THAT ARE WITHIN 15' OF CONSTRUCTION ACTIVITIES AND AS INDICATED IN THE PLANS OR PER LOCAL AGENCY REQUIREMENTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
 - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) LATEST EDITION.
 - THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT OF SERVICE PRIOR TO DEMOLITION.
 - ALL BUILDING GAS LEADS, METERS AND ASSOCIATED EQUIPMENT SHALL BE REMOVED AS SHOWN ON THE PLANS. COORDINATE ALL ASSOCIATED WORK WITH THE APPROPRIATE UTILITY COMPANY.
 - REMOVE ALL OVERHEAD AND UNDERGROUND ELECTRICAL LINES WITHIN THE AREA OF CONSTRUCTION AS SHOWN ON THE PLANS. COORDINATE SHUTDOWNS AND REMOVALS WITH DETROIT EDISON OR THE APPROPRIATE UTILITY COMPANY. (NOTE: PHONE AND CABLE T.V. SERVICES MAY ALSO BE LOCATED ON OVERHEAD LINES.)
 - THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL NOTIFY MISS DIG, THE CITY OF BRIGHTON ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.

DEMOLITION LEGEND:

ITEM TO BE PROTECTED	⊙
UTILITY REMOVAL	////
EXISTING TREES TO REMAIN WITH TREE PROTECTION FENCE	⊙
TREE REMOVAL	⊗

FLOODPLAIN NOTE:
 BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE "X" AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26093C03450, DATED SEPTEMBER 17, 2008.

REVISIONS

NO.	BY	DATE	DESCRIPTION
1	KS	4-29-16	SITE PLAN REVIEW NO. 1
2	TL	4-29-16	PLANNING COMMISSION REVIEW

CAUTION!!
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERAL ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONDITIONS DURING THE COURSE OF CONSTRUCTION AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY THAT THIS AGREEMENT SHALL BE MADE TO APPLY. CONTRACTOR SHALL NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO MAINTAIN AND HOLD DESIGN PROFESSIONAL LIABILITY INSURANCE AND ALL OTHER LIABILITY INSURANCE IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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ASMAR HOLDINGS, INC.
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 FARMINGTON HILLS, MICHIGAN 48334

DEMOLITION PLAN
HOLIDAY INN EXPRESS
 PART OF THE SE 1/4 OF SECTION 24, T.2N., R.5E,
 CITY OF BRIGHTON, LIVINGSTON COUNTY, MICHIGAN

DES. TL DN IB SUR. JW P.M. KS
 S:\PROJECTS\2016-016-BRIGHTON_TOWNE_SQUARE_Demolition_Plan-C-04-DEMOLITION PLAN-161016.dwg

ORIGINAL ISSUE DATE:
 MARCH 11, 2016

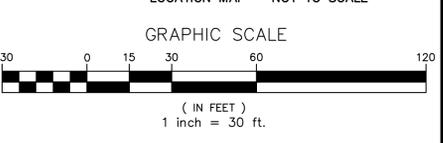
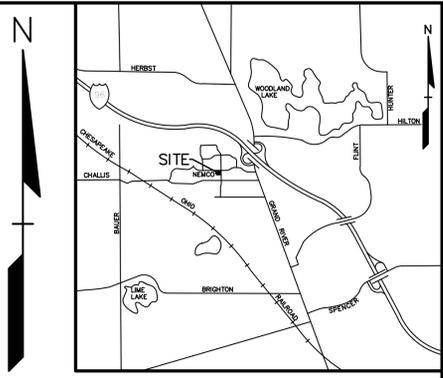
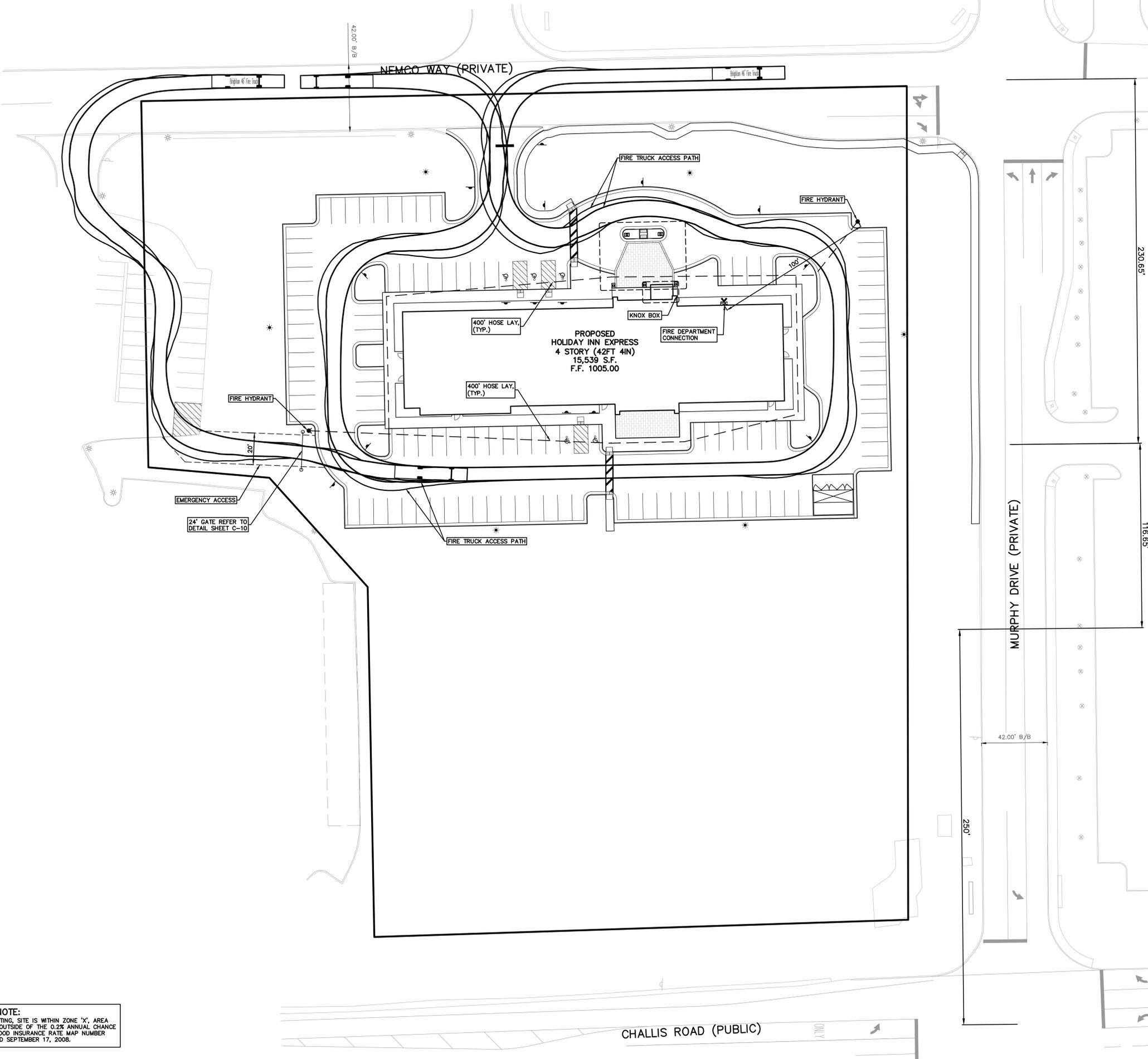
PEA JOB NO. 2016-019

SCALE: 1" = 30'

DRAWING NUMBER:
C-04

NOT FOR CONSTRUCTION

FLOODPLAIN NOTE:
 BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE "X". AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26093C03450, DATED SEPTEMBER 17, 2008.



LEGEND

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ IRON SET	⊗ MONUMENT FOUND	⊗ RECORDED
⊗ NAIL FOUND	⊗ MONUMENT SET	⊗ MEASURED
⊗ NAIL & CAP SET		⊗ CALCULATED

EXISTING

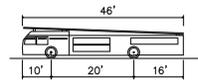
- OH-ELEC-44-O- ELEC. PHONE OR CABLE TV OH. LINE, POLE & GUY WIRE
- UG-CATV- UG-CATV
- UG-UG-PHON- UG-PHON. CABLE, PEDESTAL & MANHOLE
- UG-ELEC- UG-ELEC. CABLE, MANHOLE, METER & HANDHOLE
- GAS- GAS MAIN, VALVE & GAS LINE MARKER
- WATER- WATER MAIN, FITS, GATE VALVE, TAPPING SLUICE & VALVE
- SEWER- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM- STORM SEWER, CLEANOUT & MANHOLE
- COMB- COMBINED SEWER & MANHOLE
- CATCH- CATCH BASIN, INLET, YARD DRAIN
- POST- POST INDICATOR VALVE
- WATER- WATER VALVE, SPRINKLER VALVE, BOX, SERVICE SHUTOFF
- WALTR- WALKER, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNID- UNIDENTIFIED STRUCTURE

PROPOSED

- 670 CONTOUR LINE
- FENCE
- GUARD RAIL
- STREET LIGHT
- SIGN
- CONC. CONCRETE
- ASPH. ASPHALT
- GRAVEL GRAVEL SHOULDER
- WETLAND WETLAND

SPOT ELEVATION

671



Brighton Aerial Fire Truck 46'

Overall Length	46.00ft
Overall Width	8.167ft
Overall Body Height	7.500ft
Min. Body Ground Clearance	0.750ft
Track Width	8.167ft
Lock-to-lock time	5.00s
Max Wheel Angle	45.00°

FIRE TRUCK DETAIL
 NOT TO SCALE

NOTE:
 ACCESS AROUND BUILDING PROVIDES EMERGENCY VEHICLES WITH A TURNING RADIUS UP TO 50' OUTSIDE AND 30' INSIDE AND A MINIMUM VERTICAL CLEARANCE OF 13.5' PER BRIGHTON AREA FIRE AUTHORITY REQUIREMENTS.

NOTE:
 EMERGENCY FIRE ACCESS DRIVE SHALL REMAIN CLEAR OF OBSTACLES AND WILL BE MAINTAINED AND FLOWED DURING WINTER SEASON.

REVISIONS

NO.	BY	DATE	DESCRIPTION
1	KS	4-29-16	PLANNING COMMISSION REVIEW
2	TL	4-29-16	SITE PLAN REVIEW NO.1
3	TL	4-29-16	SITE DESIGN REVIEW NO.1

CAUTION!!
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ASMAR HOLDINGS, INC.
 32825 NORTHWESTERN HIGHWAY
 FARMINGTON HILLS, MICHIGAN 48334

FIRE ACCESS PLAN
HOLIDAY INN EXPRESS
 PART OF THE SE 1/4 OF SECTION 24, T.2N, R.5E,
 CITY OF BRIGHTON, LIVINGSTON COUNTY, MICHIGAN

DES. TL DN IB SUR. JW P.M. KS
 S:\PROJECTS\2016-019\BRIGHTON_TOWNE SQUARE_DaySite Plans\C-04-FIRE_ACCESS_PLAN-1019.dwg

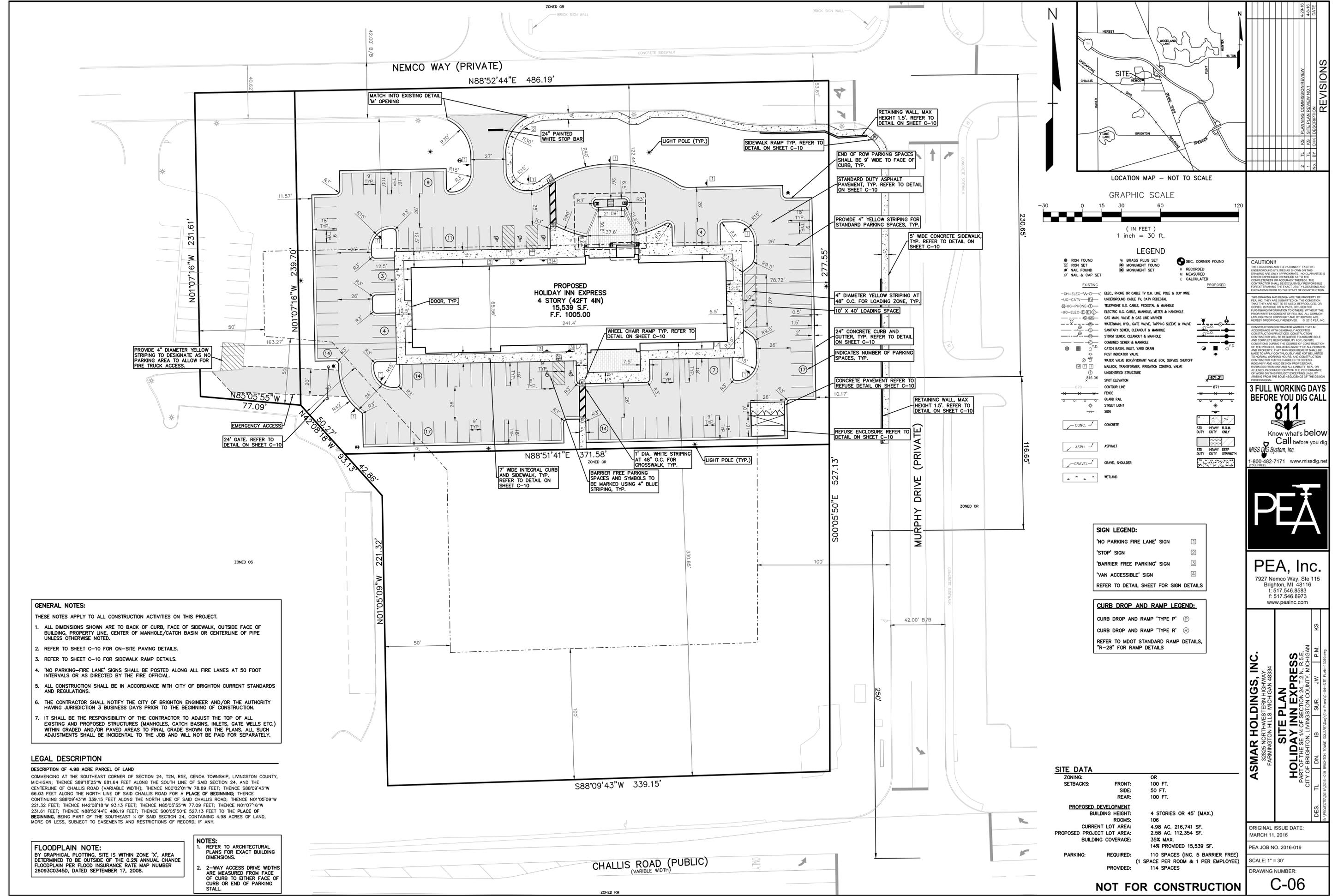
ORIGINAL ISSUE DATE:
 MARCH 11, 2016

PEA JOB NO. 2016-019

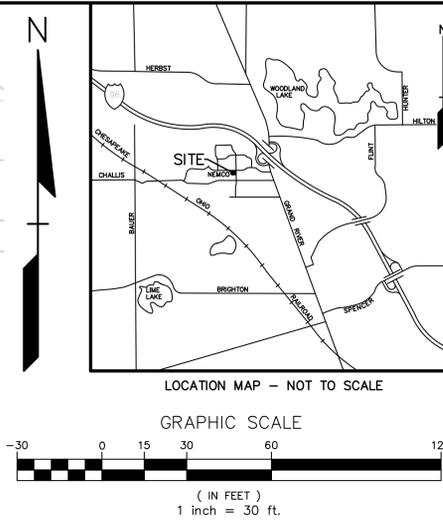
SCALE: 1" = 30'

DRAWING NUMBER:
C-05

NOT FOR CONSTRUCTION



REVISIONS	
NO.	DATE
1	4-29-16
2	4-29-16
3	4-29-16
4	4-29-16
5	4-29-16
6	4-29-16
7	4-29-16
8	4-29-16
9	4-29-16
10	4-29-16



LEGEND

● IRON FOUND	⊗ BRASS PLUG SET	⊕ SEC. CORNER FOUND
⊗ IRON SET	⊗ MONUMENT FOUND	⊖ RECORDED
⊗ NAIL FOUND	⊗ MONUMENT SET	⊘ MEASURED
⊗ NAIL & CAP SET		⊙ CALCULATED

EXISTING

- SH-ELEC-TH-C ELEC. PHONE OR CABLE TV OH. LMC. POLE & GUY WIRE
- UG-CATV- CATV UNDERGROUND CABLE TV, CATV PEDESTAL
- UG-UG-PHONE- TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
- UG-ELEC- ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
- GAS- GAS MAIN, VALVE & GAS LINE MARKER
- WATER- WATER MAIN, HYD. DATE VALVE, TAPPING SLUICE & VALVE
- SEWER- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM- STORM SEWER, CLEANOUT & MANHOLE
- COMB- COMBINED SEWER & MANHOLE
- CATCH- CATCH BASIN, INLET, YARD DRAIN
- POST- POST INDICATOR VALVE
- WATER- WATER VALVE OR PERMANENT VALVE BOX, SERVICE SHUTOFF
- WALK- WALKER, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNID- UNIDENTIFIED STRUCTURE
- SPOT- SPOT ELEVATION
- CONTOUR- CONTOUR LINE
- FENCE- FENCE
- GUARD- GUARD RAIL
- STREET- STREET LIGHT
- SIGN- SIGN

PROPOSED

- CONC- CONCRETE
- ASPH- ASPHALT
- GRAVEL- GRAVEL SHOULDER
- WETLAND- WETLAND

CAUTION!
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CONTRACTOR CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONDITIONS DURING THE COURSE OF CONSTRUCTION AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL BE MADE TO APPLY. CONTRACTORS ARE NOT BE LIMITED TO NORMAL HOURS OF WORK AND CONSTRUCTION CONTRACTOR FOR HOURS OF WORK AND CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL BE MADE TO APPLY. CONTRACTORS ARE NOT BE LIMITED TO NORMAL HOURS OF WORK AND CONSTRUCTION CONTRACTOR FOR HOURS OF WORK AND CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL BE MADE TO APPLY.

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ASMAR HOLDINGS, INC.	
32825 NORTHWESTERN HIGHWAY FARMINGTON HILLS, MICHIGAN 48334	
SITE PLAN	
HOLIDAY INN EXPRESS	
PART OF THE SE 1/4 OF SECTION 24, T.2N., R.5E, CITY OF BRIGHTON, LIVINGSTON COUNTY, MICHIGAN	
DES.	TL DN IB SUR JW P.M KS
ORIGINAL ISSUE DATE: MARCH 11, 2016	
PEA JOB NO. 2016-019	
SCALE: 1" = 30'	
DRAWING NUMBER: C-06	

GENERAL NOTES:
THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- REFER TO SHEET C-10 FOR ON-SITE PAVING DETAILS.
- REFER TO SHEET C-10 FOR SIDEWALK RAMP DETAILS.
- 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 50 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF BRIGHTON CURRENT STANDARDS AND REGULATIONS.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF BRIGHTON ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND/OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.

LEGAL DESCRIPTION
DESCRIPTION OF 4.98 ACRE PARCEL OF LAND COMMENCING AT THE SOUTHEAST CORNER OF SECTION 24, T2N, R5E, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN; THENCE S89°18'25"W 681.64 FEET ALONG THE SOUTH LINE OF SAID SECTION 24, AND THE CENTERLINE OF CHALLIS ROAD (VARIABLE WIDTH); THENCE N00°02'01"W 78.89 FEET; THENCE S88°09'43"W 65.03 FEET ALONG THE NORTH LINE OF SAID CHALLIS ROAD FOR A PLACE OF BEGINNING; THENCE CONTINUING S88°09'43"W 339.15 FEET ALONG THE NORTH LINE OF SAID CHALLIS ROAD; THENCE N01°05'09"W 221.32 FEET; THENCE N42°08'18"W 93.13 FEET; THENCE N85°05'55"W 77.09 FEET; THENCE N01°07'16"W 231.61 FEET; THENCE N88°52'44"E 486.19 FEET; THENCE S00°05'50"E 527.13 FEET TO THE PLACE OF BEGINNING, BEING PART OF THE SOUTHEAST 1/4 OF SAID SECTION 24, CONTAINING 4.98 ACRES OF LAND, MORE OR LESS, SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X'. AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26093C03450, DATED SEPTEMBER 17, 2008.

NOTES:

- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- 2-WAY ACCESS DRIVE WIDTHS ARE MEASURED FROM FACE OF CURB TO EITHER FACE OF CURB OR END OF PARKING STALL.

SIGN LEGEND:

'NO PARKING FIRE LANE' SIGN	1
'STOP' SIGN	2
'BARRIER FREE PARKING' SIGN	3
'VAN ACCESSIBLE' SIGN	4

REFER TO DETAIL SHEET FOR SIGN DETAILS

CURB DROP AND RAMP LEGEND:

CURB DROP AND RAMP 'TYPE P'	P
CURB DROP AND RAMP 'TYPE R'	R

REFER TO MDOT STANDARD RAMP DETAILS, 'R-28' FOR RAMP DETAILS

SITE DATA

ZONING:	OR
SETBACKS:	FRONT: 100 FT. SIDE: 50 FT. REAR: 100 FT.
PROPOSED DEVELOPMENT:	BUILDING HEIGHT: 4 STORIES OR 45' (MAX.) ROOMS: 106
CURRENT LOT AREA:	4.98 AC. 216,741 SF.
PROPOSED PROJECT LOT AREA:	2.58 AC. 112,354 SF.
BUILDING COVERAGE:	35% MAX. 14% PROVIDED 15,539 SF.
PARKING:	REQUIRED: 110 SPACES (INC. 5 BARRIER FREE) PROVIDED: 114 SPACES (1 SPACE PER ROOM & 1 PER EMPLOYEE)

NOT FOR CONSTRUCTION

BENCHMARKS

BM #300
MAG NAIL W/WASHER IN TOP SOUTH SIDE OF LIGHT POLE BASE
LOCATED APPROX. 125'± WEST OF THE WEST BUILDING LINE OF
#7927 NEMCO WAY AND APPROX. 23'± SOUTH OF THE CENTERLINE
OF NEMCO WAY.
ELEV. - 973.87

BM #301
MAG NAIL W/WASHER IN TOP SOUTH SIDE OF LIGHT POLE BASE
LOCATED APPROX. 30'± SOUTH OF THE CENTERLINE OF NEMCO WAY
AND APPROX. 52'± WEST OF THE CENTERLINE OF MURPHY DRIVE.
ELEV. - 962.83

BM #302
MAG NAIL W/WASHER IN THE WEST SIDE OF CONC. STRAIN POLE
BASE LOCATED APPROX. 35'± WEST OF THE CENTERLINE OF
MURPHY DRIVE AND APPROX. 40'± NORTH OF THE CENTERLINE OF
CHALLIS ROAD.
ELEV. - 967.61

GRADING AND DRAINAGE LEGEND:

1005.00
PROPOSED SPOT GRADE ELEVATIONS ARE
TOP OF PAVEMENT OR TOP OF GROUND
UNLESS OTHERWISE INDICATED BELOW.

1005.00
PROPOSED RIM GRADE ARE AT CURB
EDGE-OF-METAL.

TP = TOP OF PAVEMENT
TW = TOP OF WALK
T/W = TOP OF WALL
B/W = BOTTOM OF WALL
FG = FINISH GRADE
→ = OVERLAND FLOW DIRECTION

SYMBOLS: EROSION CONTROL

— SILT FENCE
○ INLET FILTER
■ MUD MAT
▨ EROSION CONTROL BLANKETS

RESTORATION NOTE:

THE CONTRACTOR SHALL RESTORE AREAS DISTURBED FROM HIS CONSTRUCTION
OPERATIONS TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE
OWNER, AND TO THE SATISFACTION OF THE OWNER. LANDSCAPE AREAS
REQUIRING RESTORATION SHALL INCLUDE MIN. 3" TOPSOIL AND SOD.
PAVEMENT AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION, WITH
THE APPLICABLE CROSS-SECTION TO MATCH EXISTING.

SOIL EROSION SEQUENCE OF CONSTRUCTION:

1. PLACE SILT FENCE AND SEDIMENT TRAPS AS INDICATED ON PLANS.
NOTE THAT ALL SILT FENCE SHALL BE 36" HIGH, NO EXCEPTIONS.
2. INSTALL MUD MAT AT SITE ENTRANCE.
3. REMOVE ALL TOPSOIL, ORGANIC MATTER, AND DELETERIOUS MATERIALS
FROM AREAS TO BE GRADED. TOPSOIL MAY BE STORED ON SITE IN
AREAS INDICATED AND USED FOR FUTURE PLANTING AND FILL AREAS IN
GREENSPACE, BERMS, AND REAR YARDS. TRUCK TOPSOIL OFF SITE AT
OWNER'S REQUEST. STOCKPILE AREAS SHALL BE SEEDED AND MULCHED
OR MATTED WITH STRAW, AND PROVIDED WITH A PERIMETER OF SILT
FENCE IMMEDIATELY FOLLOWING THE STRIPPING PROCESS.
4. CONSTRUCT DETENTION PONDS AND SEDIMENTATION PONDS. PONDS
SHALL BE TOPSOILED, SEEDED, MULCHED AND TACKED PRIOR TO ANY
OTHER EARTH DISRUPTION.
5. GRADE ROADS TO PAVEMENT SUBGRADE ELEVATION.
6. ROUGH GRADE SITE TO WITHIN 0.5' OF FINAL GRADE PRIOR TO
BEGINNING UTILITY CONSTRUCTION.
7. INSTALL UTILITIES. PLACE INLET FILTERS ON ALL CATCH BASINS AND
INLETS.
8. PLACE ROAD PAVING.
9. REDISTRIBUTE TOPSOIL. SITE SHALL BE GRADED ACCORDING TO GRADING
PLAN. FINAL GRADES WILL BE SET AT THE TIME SITE PLANS ARE
AVAILABLE FOR EACH HOUSE.
10. INSTALL FRANCHISE UTILITIES (ELECTRIC, GAS, TELEPHONE).
11. ESTABLISH VEGETATION AND/OR LANDSCAPE ANY REMAINING DISTURBED
AREAS.
12. CLEAN PAVEMENT AND STORM SEWERS.
13. REMOVE ALL SEDIMENT FROM SEDIMENT BASIN AND DETENTION POND.
14. REMOVE ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.

LEGAL DESCRIPTION

DESCRIPTION OF 4.98 ACRE PARCEL OF LAND
COMMENCING AT THE SOUTHEAST CORNER OF SECTION 24, T2N, R5E, GENOA TOWNSHIP, LIVINGSTON COUNTY,
MICHIGAN; THENCE S89°18'25"W 681.64 FEET ALONG THE SOUTH LINE OF SAID SECTION 24, AND THE
CENTERLINE OF CHALLIS ROAD (VARIABLE WIDTH); THENCE N00°20'01"W 78.89 FEET; THENCE S89°09'43"W
65.03 FEET ALONG THE NORTH LINE OF SAID CHALLIS ROAD FOR A PLACE OF BEGINNING; THENCE
CONTINUING S88°09'43"W 339.15 FEET ALONG THE NORTH LINE OF SAID CHALLIS ROAD; THENCE N01°05'09"W
221.32 FEET; THENCE N42°08'18"W 93.13 FEET; THENCE N85°05'55"W 77.09 FEET; THENCE N01°07'16"W
231.61 FEET; THENCE N88°52'44"E 486.19 FEET; THENCE S00°05'50"E 527.13 FEET TO THE PLACE OF
BEGINNING; BEING PART OF THE SOUTHWEST 1/4 OF SAID SECTION 24, CONTAINING 4.98 ACRES OF LAND,
MORE OR LESS, SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

FLOODPLAIN NOTE:

BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE "X". AREA
DETERMINED TO BE 0.2% ANNUAL CHANCE
FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER
26093C03450, DATED SEPTEMBER 17, 2008.

EARTHWORK BALANCING NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING
ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE
FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR
SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES
AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL
MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

SIDEWALKS SLOPE NOTE:

1. LONGITUDINAL SIDEWALK SLOPES SHALL NOT EXCEED 5% UNLESS
OTHERWISE NOTED OR A HANDRAIL SYSTEM IS PROVIDED PER ADA
REGULATIONS AND ANSI CODE REQUIREMENTS.
2. SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2% AT ALL LOCATIONS.
SEE DETAIL ON SHEET C-10.
3. RAMPS SHALL NOT EXCEED 1:12 MAXIMUM SLOPE.

SESC MAINTENANCE SCHEDULE/NOTES:

THE CONTRACTOR SHALL INSPECT THE SOIL EROSION/SEDIMENTATION
DEVICES ONCE EACH WEEK AND/OR WITHIN 24 HOURS OF A RAINFALL
EVENT WHICH RESULTS IN A STORM WATER DISCHARGE FROM THE SITE.
THE FOLLOWING STEPS SHALL BE IMPLEMENTED IF ANY DAMAGE HAS
RESULTED:

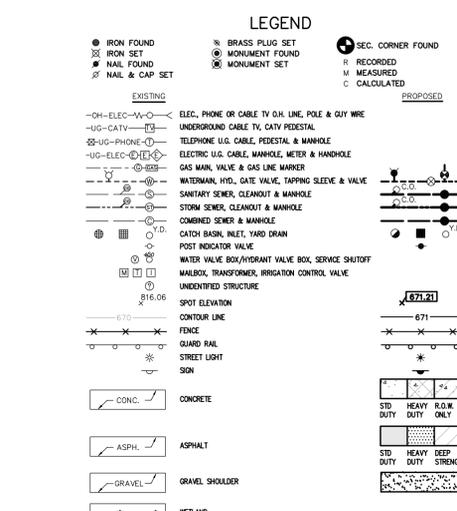
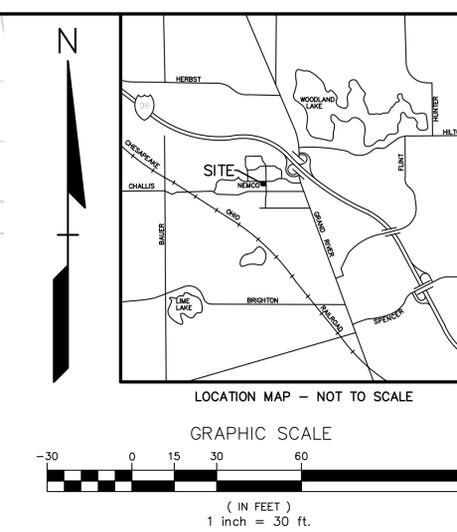
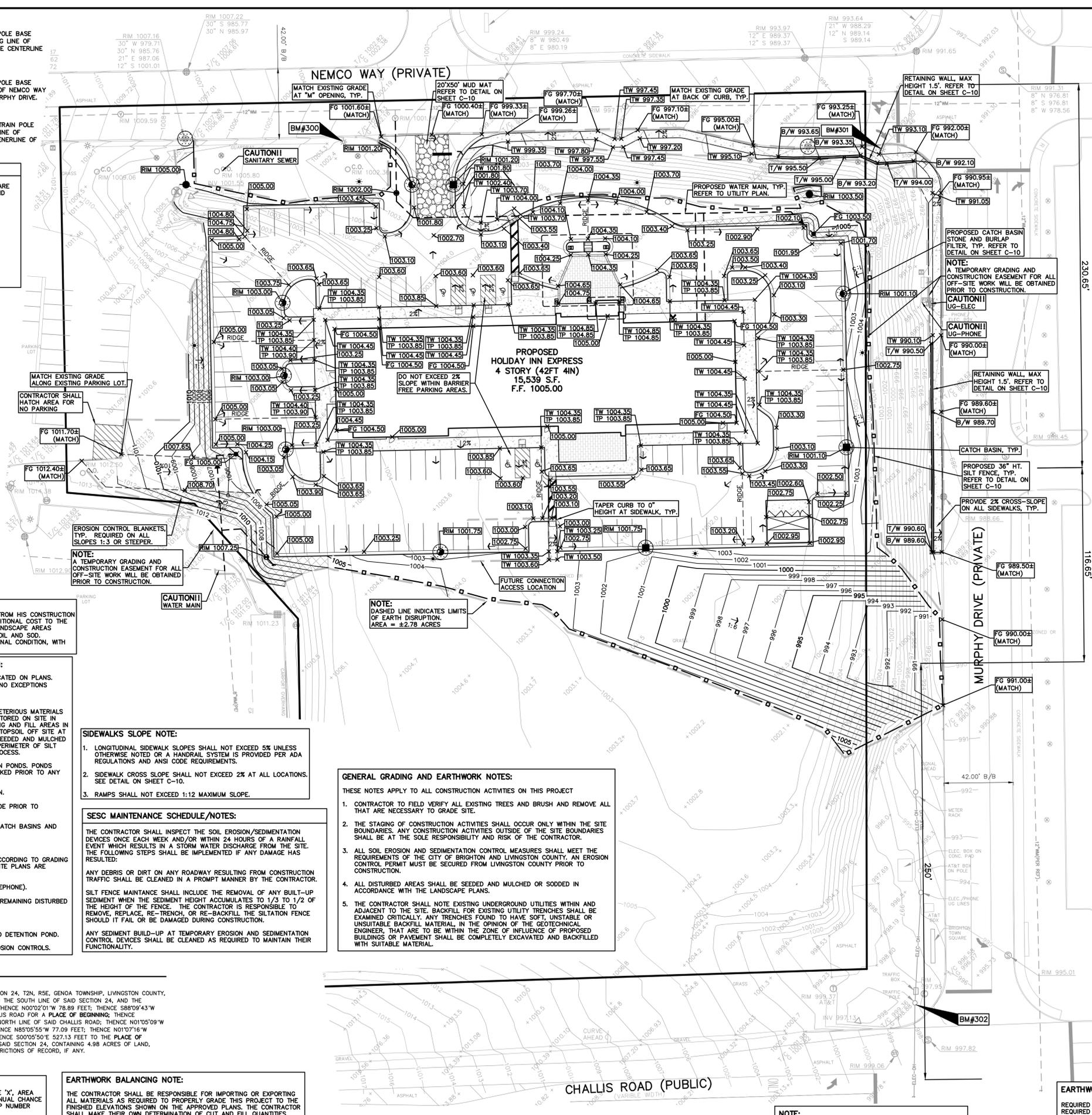
ANY DEBRIS OR DIRT ON ANY ROADWAY RESULTING FROM CONSTRUCTION
TRAFFIC SHALL BE CLEANED IN A PROMPT MANNER BY THE CONTRACTOR.

SILT FENCE MAINTENANCE SHALL INCLUDE THE REMOVAL OF ANY BUILT-UP
SEDIMENT WHEN THE SEDIMENT HEIGHT ACCUMULATES TO 1/3 TO 1/2 OF
THE HEIGHT OF THE FENCE. THE CONTRACTOR IS RESPONSIBLE TO
REMOVE, REPLACE, RE-TRENCH, OR RE-BACKFILL THE SILTATION FENCE
SHOULD IT FAIL OR BE DAMAGED DURING CONSTRUCTION.

ANY SEDIMENT BUILD-UP AT TEMPORARY EROSION AND SEDIMENTATION
CONTROL DEVICES SHALL BE CLEANED AS REQUIRED TO MAINTAIN THEIR
FUNCTIONALITY.

GENERAL GRADING AND EARTHWORK NOTES:

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT
1. CONTRACTOR TO FIELD VERIFY ALL EXISTING TREES AND BRUSH AND REMOVE ALL
THAT ARE NECESSARY TO GRADE SITE.
 2. THE STAGING OF CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY WITHIN THE SITE
BOUNDARIES. ANY CONSTRUCTION ACTIVITIES OUTSIDE OF THE SITE BOUNDARIES
SHALL BE AT THE SOLE RESPONSIBILITY AND RISK OF THE CONTRACTOR.
 3. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE
REQUIREMENTS OF THE CITY OF BRIGHTON AND LIVINGSTON COUNTY. AN EROSION
CONTROL PERMIT MUST BE SECURED FROM LIVINGSTON COUNTY PRIOR TO
CONSTRUCTION.
 4. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED OR SODDED IN
ACCORDANCE WITH THE LANDSCAPE PLANS.
 5. THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND
ADJACENT TO THE SITE. BACKFILL FOR EXISTING UTILITY TRENCHES SHALL BE
EXAMINED CRITICALLY. ANY TRENCHES FOUND TO HAVE SOFT, UNSTABLE OR
UNSATURABLE BACKFILL MATERIAL, IN THE OPINION OF THE GEOTECHNICAL
ENGINEER, THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED
BUILDINGS OR PAVEMENT SHALL BE COMPLETELY EXCAVATED AND BACKFILLED
WITH SUITABLE MATERIAL.



EROSION CONTROL STANDARDS:

1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO STANDARDS
AND SPECIFICATIONS OF THE JURISDICTIONAL AGENCY UNDER PART 91 OF ACT
451 OF 1994, AS AMENDED.
2. DAILY INSPECTIONS SHALL BE MADE BY CONTRACTOR WHILE WORKING TO
DETERMINE THE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL
MEASURES. ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
ALL SOIL EROSION CONTROL PROVISIONS SHALL BE PROPERLY MAINTAINED
DURING CONSTRUCTION.
3. EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE
CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE
AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND
MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, AND PONDS.
4. CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION
CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THESE PLANS.
CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT
PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER EARTH CHANGE
AREAS HAVE BEEN COMPLETED.
5. STAGING THE WORK WILL BE DONE BY THE CONTRACTOR AS DIRECTED IN
THESE PLANS AND AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF
DISTURBED EARTH.
6. SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF
CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES WILL BE
APPLIED AS A PERMITTER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF
THE SITE.
7. DUST SHALL BE CONTROLLED BY WATERING OR BY OTHER APPROVED MEANS
THROUGHOUT ALL CONSTRUCTION OPERATIONS.
8. PERMANENT SOIL EROSION CONTROL MEASURES FOR SLOPES, CHANNELS,
DITCHES OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 5
CALENDAR DAYS AFTER FINAL GRADING OF THE FINAL EARTH CHANGE HAS
BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A
DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHERE
SIGNIFICANT EARTH CHANGE HAS BEEN COMPLETED OR WHERE SIGNIFICANT
EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL
MEASURES SHALL BE IMPLEMENTED WITHIN 5 CALENDAR DAYS. ALL
TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL
PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND
ESTABLISHED BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED.
9. THE CONTRACTOR SHALL PRESERVE NATURAL VEGETATION AS MUCH AS
POSSIBLE.
10. ANY WORK OUTSIDE OF THE LIMITS OF DISTURBANCE SHALL REQUIRE A
SEPARATE GRADING PERMIT.
11. FOLLOWING THE PLACEMENT OF 4" OF TOPSOIL AND HYDROSEED, STRAW
MULCH BLANKET IS TO BE INSTALLED PERPENDICULAR ALONG THE PROPOSED
SLOPES 1:3 OR STEEPER FROM TOP OF SLOPE TO TOE OF SLOPE, INCLUDING
DITCH BOTTOMS, AND IT MUST BE PEGGED IN PLACE.
12. ALL MUD/DIRT TRACKED ONTO EXISTING COUNTY/CITY ROADS FROM THIS SITE,
DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
13. TEMPORARY STABILIZATION OF THE ENTIRE SITE SHALL BE COMPLETED AND
APPROVAL OBTAINED FROM THE LIVINGSTON COUNTY DRAIN COMMISSIONERS
OFFICE PRIOR TO THE ISSUANCE OF ANY SINGLE FAMILY DWELLING PERMITS.

EROSION CONTROL QUANTITIES:

SILT FENCE 1,216 L.F.
INLET FILTER 11 EA.
TEMPORARY CONSTRUCTION ACCESS DRIVE 1 EA.
EROSION CONTROL BLANKETS 472 S.Y.

EARTHWORK:
REQUIRED CUT: 3,801 C.Y.
REQUIRED FILL: 1,040 C.Y.

NOTE:
CONTRACTOR TO OBTAIN TEMPORARY ACCESS AGREEMENTS
FOR WORK OUTSIDE OF THE LIMITS OF THE PROPERTY.

TOTAL AREA OF EARTH DISTURBANCE = 2.78 ACRES

NOT FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION
1	4-29-10	ISS. PLANNING COMMISSION REVIEW
2	4-30-10	ISS. SITE PLAN REVIEW NO. 1
3	5-11-10	ISS. CIVIL DESIGN/GRADING REVIEW

CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING
UNDERGROUND UTILITIES AS SHOWN ON THIS
DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS
OTHER EXPERTS OR TO THE CONTRACTOR SHALL BE
MADE TO ANY CONTRACTIONS AND NOT BE LIMITED
TO NORMAL WORKING HOURS AND CONSTRUCTION
INDEMNITY AND HOLD DESIGN PROFESSIONAL
HARBORERS FROM ANY AND ALL LIABILITY, REAL OR
ALLEGED, IN CONNECTION WITH THE PERFORMANCE
OF WORK ON THIS PROJECT EXCEPT LIABILITY
ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN
PROFESSIONAL.

CONTRACTOR CONTRACTOR AGREES THAT IN
ACCORDANCE WITH GENERALLY ACCEPTED
CONSTRUCTION PRACTICES, CONSTRUCTION
CONTRACTOR SHALL BE RESPONSIBLE FOR ASSURE SOLE
AND COMPLETE RESPONSIBILITY FOR JOB SITE
CONDITIONS DURING THE COURSE OF CONSTRUCTION
OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS
AND PROPERTY THAT THIS REQUIREMENT SHALL BE
MADE TO ANY CONTRACTIONS AND NOT BE LIMITED
TO NORMAL WORKING HOURS AND CONSTRUCTION
INDEMNITY AND HOLD DESIGN PROFESSIONAL
HARBORERS FROM ANY AND ALL LIABILITY, REAL OR
ALLEGED, IN CONNECTION WITH THE PERFORMANCE
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GRADING & SECC PLAN
HOLIDAY INN EXPRESS
PART OF THE SE 1/4 OF SECTION 24, T2N, R5E,
CITY OF BRIGHTON, LIVINGSTON COUNTY, MICHIGAN

DES. TL DN IB SUR JW P.M. KS
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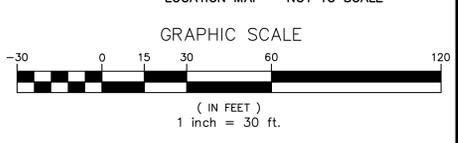
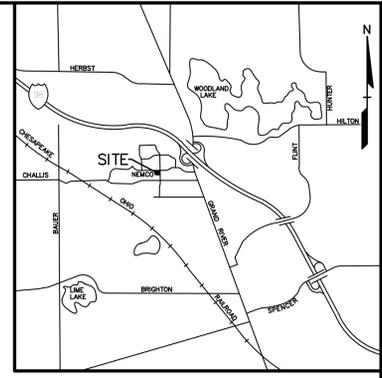
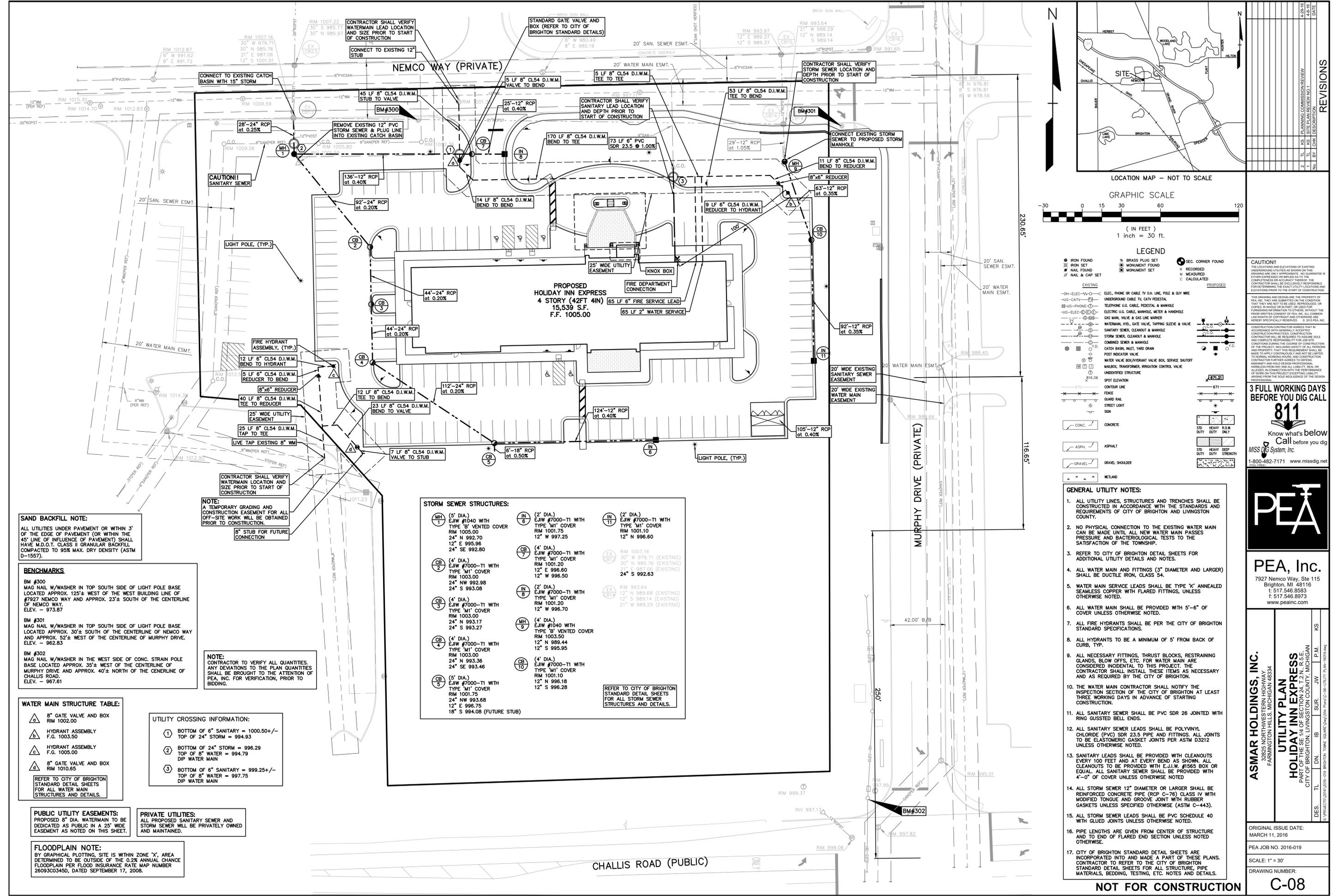
ORIGINAL ISSUE DATE:
MARCH 11, 2010

PEA JOB NO. 2010-019

SCALE: 1" = 30'

DRAWING NUMBER:

C-07



LEGEND

● IRON FOUND	○ BRASS PLUG SET	○ SEC. CORNER FOUND
⊗ IRON SET	○ MONUMENT FOUND	○ RECORDED
⊗ NAIL FOUND	○ MONUMENT SET	○ MEASURED
⊗ NAIL & CAP SET		○ CALCULATED

EXISTING

- OH-ELEC—H—C— ELEC. PHONE OR CABLE TV OR LMC. LINE OR GUY WIRE
- UG-CATV— CATV UNDERGROUND CABLE TV, CATV PEDESTAL
- UG-PHONE— TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
- UG-ELEC—E—ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
- GAS— GAS MAIN, VALVE & GAS LINE MARKER
- WATER— WATERMAIN, FITS, DATE VALVE, TAPPING SLIDE & VALVE
- SANITARY— SANITARY SEWER, CLEANOUT & MANHOLE
- STORM— STORM SEWER, CLEANOUT & MANHOLE
- COMB— COMBINED SEWER & MANHOLE
- CATCH— CATCH BASIN, INLET, YARD DRAIN
- POST— POST INDICATOR VALVE
- WATER VALVE— WATER VALVE OR HYDRANT VALVE BOX, SERVICE SHUTOFF
- MTR— MTR, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNID— UNIDENTIFIED STRUCTURE
- SPOT— SPOT ELEVATION
- CONC— CONTOUR LINE
- FENCE— FENCE
- RAIL— GUARD RAIL
- STREET— STREET LIGHT
- SON— SON

PROPOSED

- CONC— CONCRETE
- ASPH— ASPHALT
- GRAVEL— GRAVEL SHOULDER
- WETLAND— WETLAND

- GENERAL UTILITY NOTES:**
- ALL UTILITY LINES, STRUCTURES AND TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF CITY OF BRIGHTON AND LIVINGSTON COUNTY.
 - NO PHYSICAL CONNECTION TO THE EXISTING WATER MAIN CAN BE MADE UNTIL ALL NEW WATER MAIN PASSES PRESSURE AND BACTERIOLOGICAL TESTS TO THE SATISFACTION OF THE TOWNSHIP.
 - REFER TO CITY OF BRIGHTON DETAIL SHEETS FOR ADDITIONAL UTILITY DETAILS AND NOTES.
 - ALL WATER MAIN AND FITTINGS (3" DIAMETER AND LARGER) SHALL BE DUCTILE IRON, CLASS 54.
 - WATER MAIN SERVICE LEADS SHALL BE TYPE 'K' ANNEALED SEAMLESS COPPER WITH FLARED FITTINGS, UNLESS OTHERWISE NOTED.
 - ALL WATER MAIN SHALL BE PROVIDED WITH 5'-6" OF COVER UNLESS OTHERWISE NOTED.
 - ALL FIRE HYDRANTS SHALL BE PER THE CITY OF BRIGHTON STANDARD SPECIFICATIONS.
 - ALL HYDRANTS TO BE A MINIMUM OF 5' FROM BACK OF CURB, TYP.
 - ALL NECESSARY FITTINGS, THRUST BLOCKS, RESTRAINING GLANDS, BLOW OFFS, ETC. FOR WATER MAIN ARE CONSIDERED INCIDENTAL TO THIS PROJECT. THE CONTRACTOR SHALL INSTALL THESE ITEMS AS NECESSARY AND AS REQUIRED BY THE CITY OF BRIGHTON.
 - THE WATER MAIN CONTRACTOR SHALL NOTIFY THE INSPECTION SECTION OF THE CITY OF BRIGHTON AT LEAST THREE WORKING DAYS IN ADVANCE OF STARTING CONSTRUCTION.
 - ALL SANITARY SEWER SHALL BE PVC SDR 26 JOINTED WITH RING GUSSETED BELL ENDS.
 - ALL SANITARY SEWER LEADS SHALL BE POLY(M)NYL CHLORIDE (PVC) SDR 23.5 PIPE AND FITTINGS. ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.
 - SANITARY LEADS SHALL BE PROVIDED WITH CLEANOUTS EVERY 100 FEET AND AT EVERY BEND AS SHOWN. ALL CLEANOUTS TO BE PROVIDED WITH E.J.L.W. #1565 BOX OR EQUAL. ALL SANITARY SEWER SHALL BE PROVIDED WITH 4'-0" OF COVER UNLESS OTHERWISE NOTED.
 - ALL STORM SEWER 12" DIAMETER OR LARGER SHALL BE REINFORCED CONCRETE PIPE (RCP C-76) CLASS IV WITH MODIFIED TONGUE AND GROOVE JOINT WITH RUBBER GASKETS UNLESS SPECIFIED OTHERWISE (ASTM C-443).
 - ALL STORM SEWER LEADS SHALL BE PVC SCHEDULE 40 WITH GLED JOINTS UNLESS OTHERWISE NOTED.
 - PIPE LENGTHS ARE GIVEN FROM CENTER OF STRUCTURE AND TO END OF FLARED END SECTION UNLESS NOTED OTHERWISE.
 - CITY OF BRIGHTON STANDARD DETAIL SHEETS ARE INCORPORATED INTO AND MADE A PART OF THESE PLANS. CONTRACTOR TO REFER TO THE CITY OF BRIGHTON STANDARD DETAIL SHEETS FOR ALL STRUCTURE, PIPE MATERIALS, BEDDING, TESTING, ETC. NOTES AND DETAILS.

STORM SEWER STRUCTURES:

MH 1 (5' DIA.) EJW #1040 WITH TYPE 'B' VENTED COVER RIM 1005.00 24" N 992.70 12" E 995.96 24" SE 992.80	IN 6 (2' DIA.) EJW #7000-T1 WITH TYPE 'M1' COVER RIM 1001.75 12" W 997.25	IN 11 (2' DIA.) EJW #7000-T1 WITH TYPE 'M1' COVER RIM 1001.10 12" N 996.60
CB 2 (4' DIA.) EJW #7000-T1 WITH TYPE 'M1' COVER RIM 1003.00 24" NW 992.98 24" S 993.08	IN 7 (4' DIA.) EJW #7000-T1 WITH TYPE 'M1' COVER RIM 1001.20 12" E 996.60 12" W 996.50	EX CB15 (30" W 979.71 (EXISTING) 30" N 985.76 (EXISTING) 21" S 989.06 (EXISTING) 24" S 992.63
CB 3 (4' DIA.) EJW #7000-T1 WITH TYPE 'M1' COVER RIM 1003.00 24" N 993.17 24" S 993.27	IN 8 (2' DIA.) EJW #7000-T1 WITH TYPE 'M1' COVER RIM 1001.20 12" W 996.70	EX CB16 (RIM 993.64 12" N 989.68 (EXISTING) 12" S 989.14 (EXISTING) 21" W 989.29 (EXISTING)
CB 4 (4' DIA.) EJW #7000-T1 WITH TYPE 'M1' COVER RIM 1003.00 24" N 993.36 24" SE 993.46	MH 9 (4' DIA.) EJW #1040 WITH TYPE 'B' VENTED COVER RIM 1003.50 12" N 989.44 12" S 995.95	
CB 5 (5' DIA.) EJW #7000-T1 WITH TYPE 'M1' COVER RIM 1001.75 24" NW 993.68 12" E 996.75 18" S 994.08 (FUTURE STUB)	CB 10 (4' DIA.) EJW #7000-T1 WITH TYPE 'M1' COVER RIM 1001.10 12" N 996.18 12" S 996.28	REFER TO CITY OF BRIGHTON STANDARD DETAIL SHEETS FOR ALL STORM SEWER STRUCTURES AND DETAILS.

SAND BACKFILL NOTE:
ALL UTILITIES UNDER PAVEMENT OR WITHIN 3' OF THE EDGE OF PAVEMENT (OR WITHIN THE 45' LINE OF INFLUENCE OF PAVEMENT) SHALL HAVE M.D.O.T. CLASS II GRANULAR BACKFILL COMPACTED TO 95% MAX. DRY DENSITY (ASTM D-1557).

BENCHMARKS
BM #300
MAG NAIL W/WASHER IN TOP SOUTH SIDE OF LIGHT POLE BASE LOCATED APPROX. 125'± WEST OF THE WEST BUILDING LINE OF #7927 NEMCO WAY AND APPROX. 23'± SOUTH OF THE CENTERLINE OF NEMCO WAY.
ELEV. - 973.87
BM #301
MAG NAIL W/WASHER IN TOP SOUTH SIDE OF LIGHT POLE BASE LOCATED APPROX. 30'± SOUTH OF THE CENTERLINE OF MURPHY DRIVE AND APPROX. 52'± WEST OF THE CENTERLINE OF MURPHY DRIVE.
ELEV. - 962.83
BM #302
MAG NAIL W/WASHER IN THE WEST SIDE OF CONC. STRAIN POLE BASE LOCATED APPROX. 35'± WEST OF THE CENTERLINE OF MURPHY DRIVE AND APPROX. 40'± NORTH OF THE CENTERLINE OF CHALLIS ROAD.
ELEV. - 967.61

WATER MAIN STRUCTURE TABLE:

▲	8" GATE VALVE AND BOX RIM 1002.00
▲	HYDRANT ASSEMBLY F.G. 1003.50
▲	HYDRANT ASSEMBLY F.G. 1005.00
▲	8" GATE VALVE AND BOX RIM 1010.65

REFER TO CITY OF BRIGHTON STANDARD DETAIL SHEETS FOR ALL WATER MAIN STRUCTURES AND DETAILS.

UTILITY CROSSING INFORMATION:

1	BOTTOM OF 6" SANITARY = 1000.50+/- TOP OF 24" STORM = 994.93
2	BOTTOM OF 24" STORM = 996.29 TOP OF 8" WATER = 994.79 DIP WATER MAIN
3	BOTTOM OF 6" SANITARY = 999.25+/- TOP OF 8" WATER = 997.75 DIP WATER MAIN

PUBLIC UTILITY EASEMENTS:
PROPOSED 8" DIA. WATERMAIN TO BE DEDICATED AS PUBLIC IN A 25' WIDE EASEMENT AS NOTED ON THIS SHEET.

PRIVATE UTILITIES:
ALL PROPOSED SANITARY SEWER AND STORM SEWER WILL BE PRIVATELY OWNED AND MAINTAINED.

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X'. AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26093C03450, DATED SEPTEMBER 17, 2008.

REVISIONS

NO.	DATE	DESCRIPTION
1	4-29-16	PLANNING COMMISSION REVIEW
2	5-11-16	SITE PLAN REVIEW NO. 1
3	5-11-16	DATE

CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS GIVEN FOR THE ACCURACY OF THESE LOCATIONS OR ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

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CONTRACTOR CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONDITIONS DURING THE COURSE OF CONSTRUCTION AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.

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UTILITY PLAN
HOLIDAY INN EXPRESS
PART OF THE SE 1/4 OF SECTION 24, T.2N., R.15E,
CITY OF BRIGHTON, LIVINGSTON COUNTY, MICHIGAN

DES. TL DN IB SUR. JW P.M.
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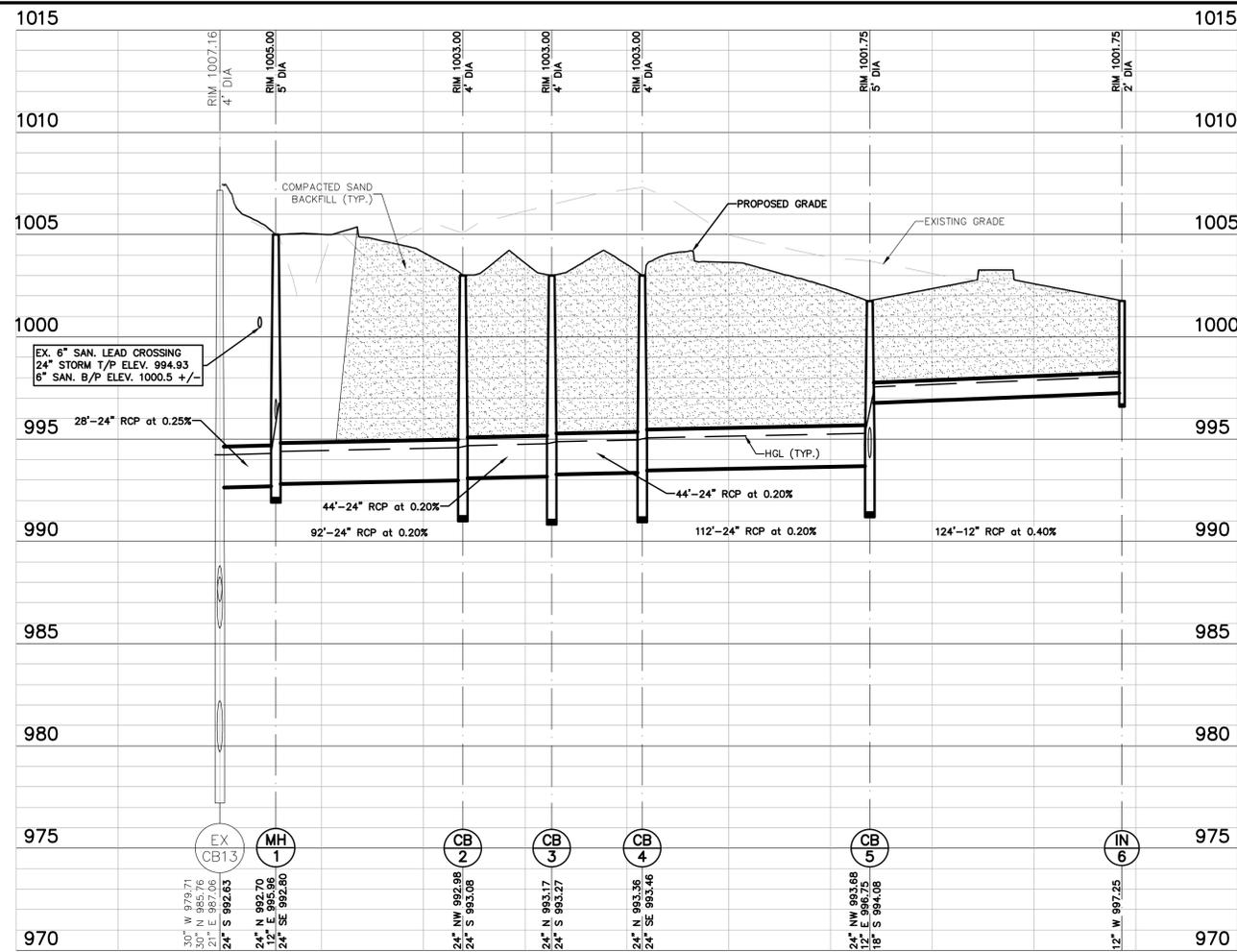
ORIGINAL ISSUE DATE:
MARCH 11, 2016

PEA JOB NO. 2016-019

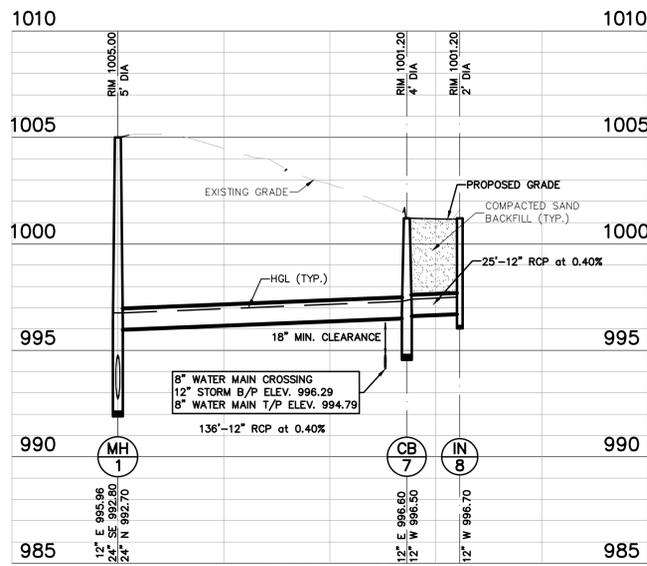
SCALE: 1" = 30'

DRAWING NUMBER:
C-08

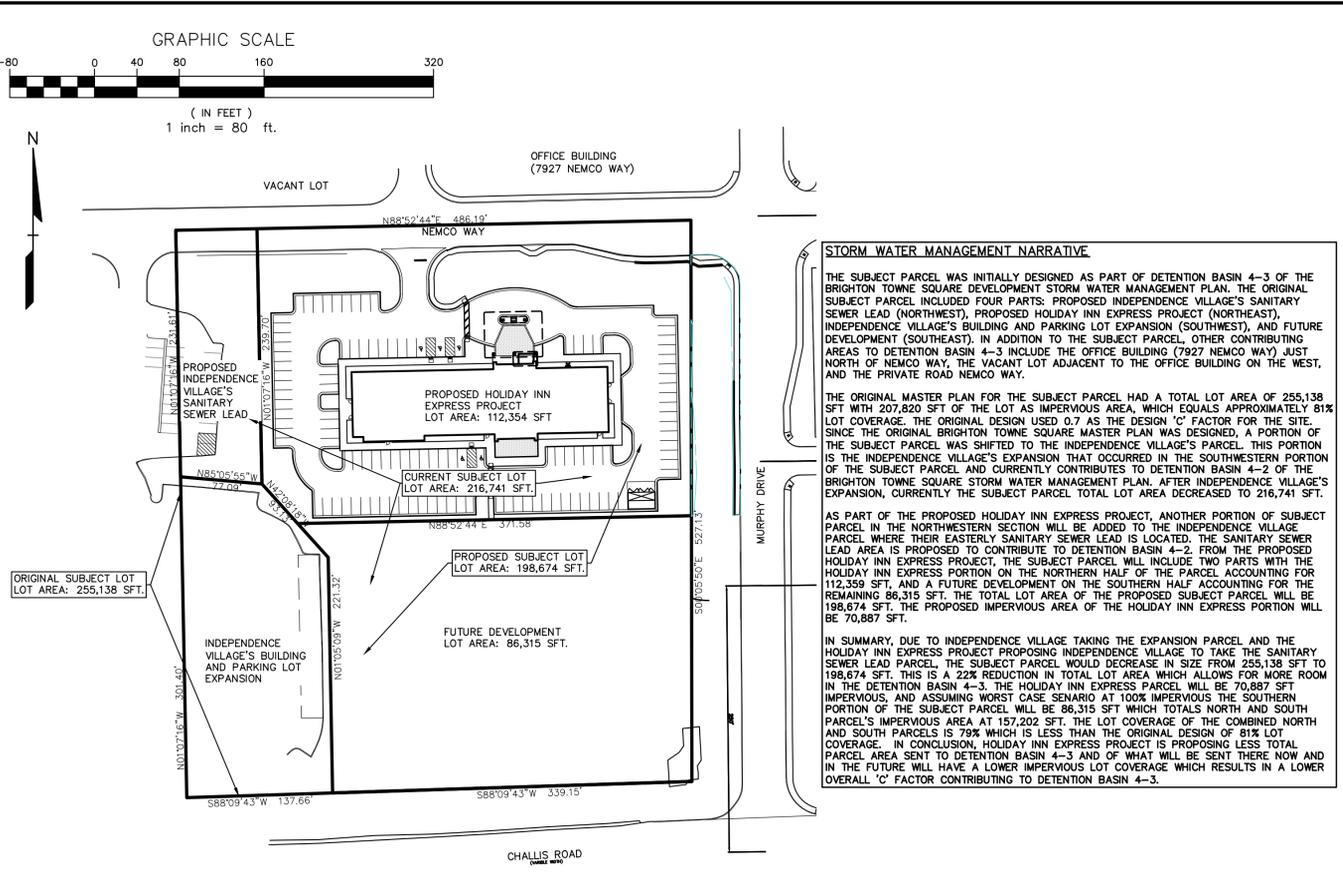
NOT FOR CONSTRUCTION



EX. CB13 - IN6
HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'



MH 1 - IN8
HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'



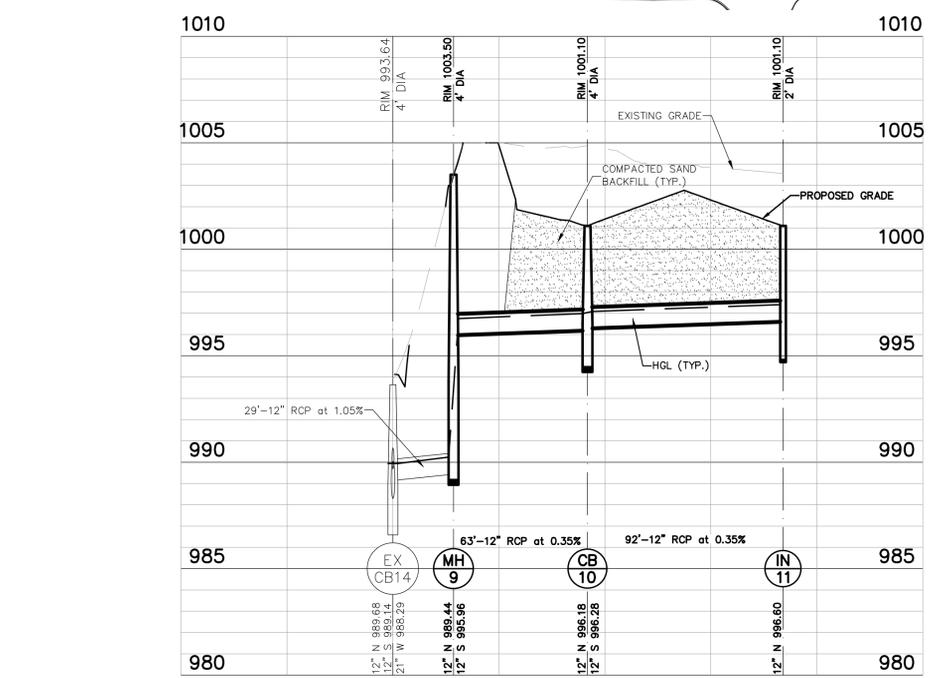
STORM WATER MANAGEMENT NARRATIVE

THE SUBJECT PARCEL WAS INITIALLY DESIGNED AS PART OF DETENTION BASIN 4-3 OF THE BRIGHTON TOWNE SQUARE DEVELOPMENT STORM WATER MANAGEMENT PLAN. THE ORIGINAL SUBJECT PARCEL INCLUDED FOUR PARTS: PROPOSED INDEPENDENCE VILLAGE'S SANITARY SEWER LEAD (NORTHWEST), PROPOSED HOLIDAY INN EXPRESS PROJECT (NORTHEAST), INDEPENDENCE VILLAGE'S BUILDING AND PARKING LOT EXPANSION (SOUTHWEST), AND FUTURE DEVELOPMENT (SOUTHEAST). IN ADDITION TO THE SUBJECT PARCEL, OTHER CONTRIBUTING AREAS TO DETENTION BASIN 4-3 INCLUDE THE OFFICE BUILDING (7927 NEMCO WAY) JUST NORTH OF NEMCO WAY, THE VACANT LOT ADJACENT TO THE OFFICE BUILDING ON THE WEST, AND THE PRIVATE ROAD NEMCO WAY.

THE ORIGINAL MASTER PLAN FOR THE SUBJECT PARCEL HAD A TOTAL LOT AREA OF 255,138 SFT WITH 207,820 SFT OF THE LOT AS IMPERVIOUS AREA, WHICH EQUALS APPROXIMATELY 81% LOT COVERAGE. THE ORIGINAL DESIGN USED 0.7 AS THE DESIGN 'C' FACTOR FOR THE SITE. SINCE THE ORIGINAL BRIGHTON TOWNE SQUARE MASTER PLAN WAS DESIGNED, A PORTION OF THE SUBJECT PARCEL WAS SHITTED TO THE INDEPENDENCE VILLAGE'S PARCEL. THIS PORTION IS THE INDEPENDENCE VILLAGE'S EXPANSION THAT OCCURRED IN THE SOUTHWESTERN PORTION OF THE SUBJECT PARCEL AND CURRENTLY CONTRIBUTES TO DETENTION BASIN 4-2 OF THE BRIGHTON TOWNE SQUARE STORM WATER MANAGEMENT PLAN. AFTER INDEPENDENCE VILLAGE'S EXPANSION, CURRENTLY THE SUBJECT PARCEL TOTAL LOT AREA DECREASED TO 216,741 SFT.

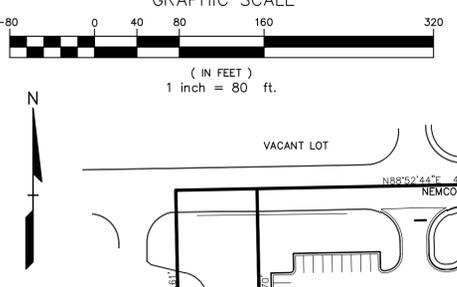
AS PART OF THE PROPOSED HOLIDAY INN EXPRESS PROJECT, ANOTHER PORTION OF SUBJECT PARCEL IN THE NORTHWESTERN SECTION WILL BE ADDED TO THE INDEPENDENCE VILLAGE PARCEL WHERE THEIR EASTERLY SANITARY SEWER LEAD IS LOCATED. THE SANITARY SEWER LEAD AREA IS PROPOSED TO CONTRIBUTE TO DETENTION BASIN 4-2. FROM THE PROPOSED HOLIDAY INN EXPRESS PROJECT, THE SUBJECT PARCEL WILL INCLUDE TWO PARTS WITH THE HOLIDAY INN EXPRESS PORTION ON THE NORTHERN HALF OF THE PARCEL ACCOUNTING FOR 112,359 SFT, AND A FUTURE DEVELOPMENT ON THE SOUTHERN HALF ACCOUNTING FOR THE REMAINING 86,315 SFT. THE TOTAL LOT AREA OF THE PROPOSED SUBJECT PARCEL WILL BE 198,674 SFT. THE PROPOSED IMPERVIOUS AREA OF THE HOLIDAY INN EXPRESS PORTION WILL BE 70,887 SFT.

IN SUMMARY, DUE TO INDEPENDENCE VILLAGE TAKING THE EXPANSION PARCEL AND THE HOLIDAY INN EXPRESS PROJECT PROPOSING INDEPENDENCE VILLAGE TO TAKE THE SANITARY SEWER LEAD PARCEL, THE SUBJECT PARCEL WOULD DECREASE IN SIZE FROM 255,138 SFT TO 198,674 SFT. THIS IS A 22% REDUCTION IN TOTAL LOT AREA WHICH ALLOWS FOR MORE ROOM IN THE DETENTION BASIN 4-3. THE HOLIDAY INN EXPRESS PARCEL WILL BE 70,887 SFT IMPERVIOUS, AND ASSUMING WORST CASE SCENARIO AT 100% IMPERVIOUS THE SOUTHERN PORTION OF THE SUBJECT PARCEL WILL BE 86,315 SFT WHICH TOTALS NORTH AND SOUTH PARCEL'S IMPERVIOUS AREA AT 157,202 SFT. THE LOT COVERAGE OF THE COMBINED NORTH AND SOUTH PARCELS IS 79% WHICH IS LESS THAN THE ORIGINAL DESIGN OF 81% LOT COVERAGE. IN CONCLUSION, HOLIDAY INN EXPRESS PROJECT IS PROPOSING LESS TOTAL PARCEL AREA SENT TO DETENTION BASIN 4-3 AND OF WHAT WILL BE SENT THERE NOW AND IN THE FUTURE WILL HAVE A LOWER IMPERVIOUS LOT COVERAGE WHICH RESULTS IN A LOWER OVERALL 'C' FACTOR CONTRIBUTING TO DETENTION BASIN 4-3.



EX. CB14 - IN11
HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'

FROM STR TO STR	DRAINAGE AREA #	AREA A	COEFF. C	A x C	AREA TOTAL	TOTAL C x A	TIME t	HIDDEN To NEXT	INT. I	FLOW Q	PIPE CAP.	PIPE CAP. > Q	PIPE AREA	PIPE LENGTH	PIPE DIA.	PIPE SLOPE	MIN PIPE SLOPE	H.G. SLOPE	VEL. FULL	TIME FLOW	H.G. ELEV. UP	H.G. ELEV. DOWN	INVERT ELEV. UP	INVERT ELEV. DOWN	RIM ELEV.		PIPE COVER STR.		H.G.L. COVER		
																									UP	DOWN	COVER UP	COVER DOWN	UP	DOWN	UP
		ac.			ac.		min.		in/hr	cfs.	cfs.	sq ft	ft	in.	%	%	ft/sec	min.													
MAIN LINE	6-5	A	0.37	0.93	0.341	0.365	0.341	15.00	15.72	4.38	1.49	2.25	0.76	0.79	124	12	0.40	0.32	0.40	2.87	0.72	998.05	997.55	997.25	996.75	1001.75	1001.75	3.50	4.00	3.70	4.20
	5-4	B	0.48	0.84	0.401	2.605	1.985	15.72	16.30	4.30	8.53	10.11	1.58	3.14	112	24	0.20	0.13	0.20	3.22	0.58	995.28	994.06	993.68	993.46	1001.75	1003.00	6.07	7.54	6.47	7.94
	4-3	C	0.23	0.42	0.097	2.837	2.082	16.30	16.53	4.24	8.82	10.11	1.29	3.14	44	24	0.20	0.13	0.20	3.22	0.23	994.96	994.87	993.36	993.27	1003.00	1003.00	7.64	7.73	8.04	8.13
	3-2	D	0.14	0.63	0.088	2.976	2.170	16.53	16.76	4.21	9.15	10.11	0.96	3.14	44	24	0.20	0.13	0.20	3.22	0.48	994.77	994.68	993.17	993.08	1003.00	1003.00	7.83	7.92	8.23	8.32
	2-1	E	0.26	0.44	0.112	3.233	2.282	16.76	17.23	4.19	9.57	10.11	0.54	3.14	92	24	0.20	0.13	0.20	3.22	0.48	994.58	994.40	992.98	992.80	1003.00	1005.00	8.02	10.20	8.42	10.60
	1-EX 13	NONE	0.00	0.00	0.000	3.639	2.585	17.23	17.36	4.14	10.71	11.30	0.59	3.14	28	24	0.25	0.13	0.25	3.60	0.13	994.30	994.23	992.70	992.63	1005.00	1007.16	10.30	12.53	10.70	12.93
MAIN LINE	11-10	G	0.20	0.73	0.145	0.199	0.145	15.00	15.57	4.38	0.63	2.11	1.47	0.79	92	12	0.35	0.32	0.35	2.68	0.57	997.40	997.08	996.60	996.28	1001.10	1001.10	3.50	3.83	3.70	4.03
	10-9	H	0.30	0.81	0.242	0.496	0.386	15.57	15.96	4.31	1.67	2.11	0.44	0.79	63	12	0.35	0.32	0.35	2.68	0.39	996.98	996.75	996.18	995.95	1001.10	1003.50	3.93	6.55	4.13	6.75
	9-EX 14	NONE	0.00	0.00	0.000	0.496	0.386	15.96	16.07	4.27	1.65	3.65	2.00	0.79	29	12	1.05	0.32	1.05	4.65	0.10	990.24	989.94	989.44	989.14	1003.50	993.64	13.06	3.50	13.26	3.70
MAIN LINE	8-7	I	0.18	0.79	0.141	0.179	0.141	15.00	15.15	4.38	0.62	2.25	1.64	0.79	25	12	0.40	0.32	0.40	2.87	0.15	997.50	997.40	996.70	996.50	1001.20	1001.20	3.50	3.60	3.70	3.80
	7-1	J	0.23	0.71	0.161	0.406	0.302	15.15	15.94	4.36	1.32	2.25	0.93	0.79	136	12	0.40	0.32	0.40	2.87	0.79	997.30	996.76	996.50	995.96	1001.20	1005.00	3.70	8.04	3.90	8.24
MAIN LINE	F-5	FUTURE	1.76	0.71	1.244	1.764	1.244	15.00	15.02	4.38	5.44	7.42	1.98	1.77	6	18	0.50	0.19	0.50	4.20	0.02	995.31	995.28	994.11	994.08	1001.75	1001.75	6.14	6.17	6.44	6.47



NO.	DATE	DESCRIPTION
1	4-29-18	PLANNING COMMISSION REVIEW
2	4-30-18	SITE PLAN REVIEW NO. 1
3	5-1-18	FINAL DESIGN REVIEW

REVISIONS

CAUTION!
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STORM SEWER PROFILES
HOLIDAY INN EXPRESS
PART OF THE SE 1/4 OF SECTION 24, T.2 N., R.15 E., CITY OF BRIGHTON, LIVINGSTON COUNTY, MICHIGAN

DES. TL DN IB SUR JW P.M. KS
S:\PROJECTS\2018-01-08 Brighton, Towne Square\Drawings\Site Plans\C-09-STORM PROFILES-10701.dwg

ORIGINAL ISSUE DATE:
MARCH 11, 2016

PEA JOB NO. 2016-019

SCALE: AS NOTED

DRAWING NUMBER:

TREE PROTECTION WILL BE ERRECTED PRIOR TO START OF CONSTRUCTION ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE.

NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN, INCLUDING, BUT NOT LIMITED TO, PILING SOLVENTS, BUILDING MATERIAL, CONSTRUCTION EQUIPMENT OR SOIL DEPOSITS WITHIN DRIP LINES.

GRADE CHANGES MAY NOT OCCUR WITHIN THE DRIP LINE OF PROTECTED TREES.

DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY REMAINING TREE.

ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING.

TREES LOCATED ON ADJACENT PROPERTY THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED.

TREES TO BE PRESERVED SHALL BE IDENTIFIED WITH FLAGGING PRIOR TO THE TREE CLEARING OPERATIONS.

PROVIDE FENCE AROUND CRITICAL ROOT ZONE OF TREE.

FENCE SHALL BE PLACED IN A CIRCLE WITH A RADIUS OF 1" PER 1" DIAMETER OF THE TREE MEASURED AT 4.5' ABOVE GROUND.

4" HIGH PROTECTIVE FENCING WITH STEEL POSTS - 10' O.C.



TREE PROTECTION DETAIL
NOT TO SCALE

PLANT SO THAT TOP OF ROOT BALL IS FLUSH TO GRADE OR 1-2" HIGHER IF IN POORLY DRAINED SOILS.

SECURE TREE WRAP WITH BIODEGRADABLE MATERIAL AT TOP & BOTTOM. REMOVE AFTER FIRST WINTER.

DO NOT PRUNE TERMINAL LEADER PRUNE ONLY DEAD BRANCHES.

WITH 2"-3" WIDE FABRIC STRAPS, CONNECT FROM TREE TO STAKE. REMOVE AFTER (1) ONE YEAR, ALLOW FOR FLEXIBILITY. DO NOT USE WIRE & NOT TO BE USED FOR MORE THAN 1 YEAR.

(3) THREE 2" x 2" HARDWOOD STAKES DRIVEN A MIN. OF 18" DEEP FIRMLY INTO SUBGRADE PRIOR TO BACKFILLING.

SHREDDED HARDWOOD BARK MULCH TO DRIFTLINE 3" DEEP AND LEAVE 3" CIRCLE OF BARE SOIL AROUND TREE TRUNK. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. FORM SAUCER AROUND PLANT PIT.

SPECIFIED PLANTING MIX. WATER & TAMP TO REMOVE AIR POCKETS AMEND SOIL PER SITE CONDITIONS & TREE REQUIREMENTS.

REMOVE ALL BURLAP FROM TOP 1/4 OF ROOTBALL. DISCARD ALL NON-BIODEGRADABLE MATERIAL OFF SITE.

PLACE ROOTBALL ON UNEXCAVATED OR TAMPED SOIL.



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

PLANT SO THAT TOP OF ROOT BALL IS FLUSH TO GRADE OR 1-2" HIGHER IF IN POORLY DRAINED SOILS.

DO NOT COVER TOP OF ROOTBALL WITH SOIL.

FORM SAUCER WITH 4" CONTINUOUS RIM.

SHREDDED HARDWOOD BARK MULCH 3" DEEP AND LEAVE 3" CIRCLE OF BARE SOIL AROUND TRUNK. DO NOT PLACE MULCH IN CONTACT WITH TRUNK.

FINISH GRADE.

SPECIFIED PLANTING MIX. WATER & TAMP TO REMOVE AIR POCKETS.

REMOVE ALL BURLAP FROM TOP 1/4 OF ROOTBALL. DISCARD ALL NON-BIODEGRADABLE MATERIAL OFF SITE.

PLACE ROOTBALL ON UNEXCAVATED OR TAMPED SOIL.



SHRUB PLANTING DETAIL
NOT TO SCALE

PLANT PERENNIALS EQUAL DISTANCE IN ALL DIRECTION.

3" SHREDDED BARK MULCH. DO NOT FILE MULCH AGAINST PLANT STEMS.

SPECIFIED PLANTING MIX.

NOTE: REMOVE ALL CONTAINERS PRIOR TO PLANTING.



PERENNIAL PLANTING DETAIL
NOT TO SCALE

SPECIFICATION FOR LANDSCAPE BED EDGING:

LANDSCAPE BED EDGING SHALL BE CURV-RITE DESIGN 2 (CRD2) AS MANUFACTURED BY CURV-RITE, INC. WAYLAND, MICHIGAN 48096-2878.

(8") EIGHT OR (16") SIXTEEN FOOT SECTIONS SHALL BE USED WITH ONE STAKE PER (36") THIRTY EIGHT INCHES OF EDGING.

EDGING SHALL BE ALUMINUM ALLOY 6063 - T6 WITH STAKES BEING 6061-T6.

STAKE SHALL SECURELY ENGAGE EDGING AND SHALL BE ENTIRELY BELOW TOP SURFACE OF EDGING.

EDGING SHALL HAVE A MINIMUM OF (2") TWO INCHES OF INTERLOCKING OVERLAP BETWEEN SECTIONS.

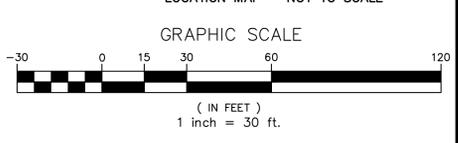
INSTALL AS PER MANUFACTURER'S SPECIFICATIONS WITH TOP OF EDGING 1"-3" ABOVE COMPACTED FINISH GRADE. FINISH GRADE TO BE COMPACTED ON EITHER SIDE OF EDGING TO MAINTAIN STABILITY.

ALUMINUM EDGE DETAIL
NOT TO SCALE

TREE PLANT LIST:					
QUANTITY	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
5	AR2.5	Red Maple	<i>Acer rubrum</i>	2.5" Cal.	B&B
5	PA2.5	Exclamation London Planetree	<i>Platanus x acerifolia 'Morton Circle'</i>	2.5" Cal.	B&B
1	PG8	Black Hills Spruce	<i>Picea glauca 'Densata'</i>	8' Ht.	B&B
2	QR2.5	Red Oak	<i>Quercus rubra</i>	2.5" Cal.	B&B
5	SR2.5	Japanese Tree Lilac	<i>Syringa reticulata</i>	2.5" Cal.	B&B
3	UF2.5	Frontier Elm	<i>Ulmus 'Frontier'</i>	2.5" Cal.	B&B

SHRUB PLANT LIST:					
QUANTITY	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
27	RK24	Pink Double Knockout Rose	<i>Rosa 'Knock Out'</i>	24" Ht.	Cont.
48	SP36	Miss Kim Lilac	<i>Syringa patula 'Miss Kim'</i>	36" Ht.	Cont.

LANDSCAPE CALCULATIONS:	
PER CITY OF BRIGHTON ZONING ORDINANCE	
PARKING LOT PERIMETER	
REQUIRED:	1 DECIDUOUS TREE PER 30 LF BETWEEN PARKING LOT AND R.O.W. AND 42' HT. SOLID HEDGE
PROVIDED:	236 LF / 30 = (7.8) 8 PERIMETER TREES
PARKING LOT END CAP	
REQUIRED:	NO LESS THAN 180 SF WITH 1 DECIDUOUS TREE
PROVIDED:	8 END CAPS X 180 SF = 1440 SF WITH 8 TREES
PARKING LOT INTERIOR	
REQUIRED:	3% TOTAL PARKING AND DRIVE AISLE SF TO BE LANDSCAPED AND ONE TREE PER 250 SF OF INTERIOR LANDSCAPE
PROVIDED:	36982 SF PARKING X 3% = 1108 SF INTERIOR LANDSCAPING 1108 SF INTERIOR / 250 SF = 4 TREES
PROVIDED:	1246 SF INTERIOR & 4 TREES



REVISIONS	
NO.	DATE
1	4-29-16
2	4-29-16
3	4-29-16
4	4-29-16
5	4-29-16
6	4-29-16
7	4-29-16
8	4-29-16
9	4-29-16
10	4-29-16



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LANDSCAPE PLAN
HOLIDAY INN EXPRESS
PART OF THE SE 1/4 OF SECTION 24, T.2 N., R.15 E.
CITY OF BRIGHTON, LIVINGSTON COUNTY, MICHIGAN

DES. TL DN IB SUR JW P.M. KS
S:\SYNOPSIS\2016-016-BRIGHTON_TOWNE SQUARE\Drawings\Site\Plan\09-LANDSCAPE_PLAN-1016-016.dwg

ORIGINAL ISSUE DATE:
MARCH 11, 2016

PEA JOB NO. 2016-019

SCALE: 1" = 30'

DRAWING NUMBER:

L-01

- GENERAL PLANTING NOTES:**
- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
 - CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
 - ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
 - THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
 - ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
 - ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
 - ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
 - ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
 - ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
 - NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
 - ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
 - IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
 - ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH, SEE SPECIFICATIONS. SHREDDED PALETTE AND DIED MULCH WILL NOT BE ACCEPTED.
 - ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
 - SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.

NOT FOR CONSTRUCTION



Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
□	A	6	Lithonia Lighting	DSX1 LED 60C 1000 40K T4M MVOLT	DSX1 LED with 60 LEDs @ 1000 mA, 4000K, TYPE 4 MEDIUM OPTICS	LED	1	22206	0.9	209

Label	X	Y	Z	MH	Orientation	TIR
A	-144.39	-227.14	35.00	35.00	0.00	0.00
A	-11.67	-226.38	35.00	35.00	0.00	0.00
A	-117.12	-94.15	35.00	35.00	-270.00	0.00
A	-23.16	8.04	35.00	35.00	180.00	0.00
A	-293.23	-99.48	35.00	35.00	90.00	0.00
A	-190.77	8.09	35.00	35.00	90.00	0.00

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
OVERALL LTG	+	0.5 fc	2.5 fc	0.0 fc	N/A	N/A
PARKING LOT	⊗	1.0 fc	1.9 fc	0.5 fc	3.8:1	2.0:1

- Note**
- SEE MH COLUMN OF LUMINAIRE LOCATIONS FOR MOUNTING HEIGHTS.
 - SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTORS.
 - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT GRADE.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP. GBA DOES NOT ACT AS THE CIVIL OR STRUCTURAL ENGINEER AND DOES NOT DETERMINE BASE REQUIREMENTS. POLES SPECIFICATIONS ARE NOT INCLUDED WITH EXTERIOR LIGHTING PHOTOMETRIC ANALYSIS. THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

D-Series Size 1 LED Area Luminaire

Specifications

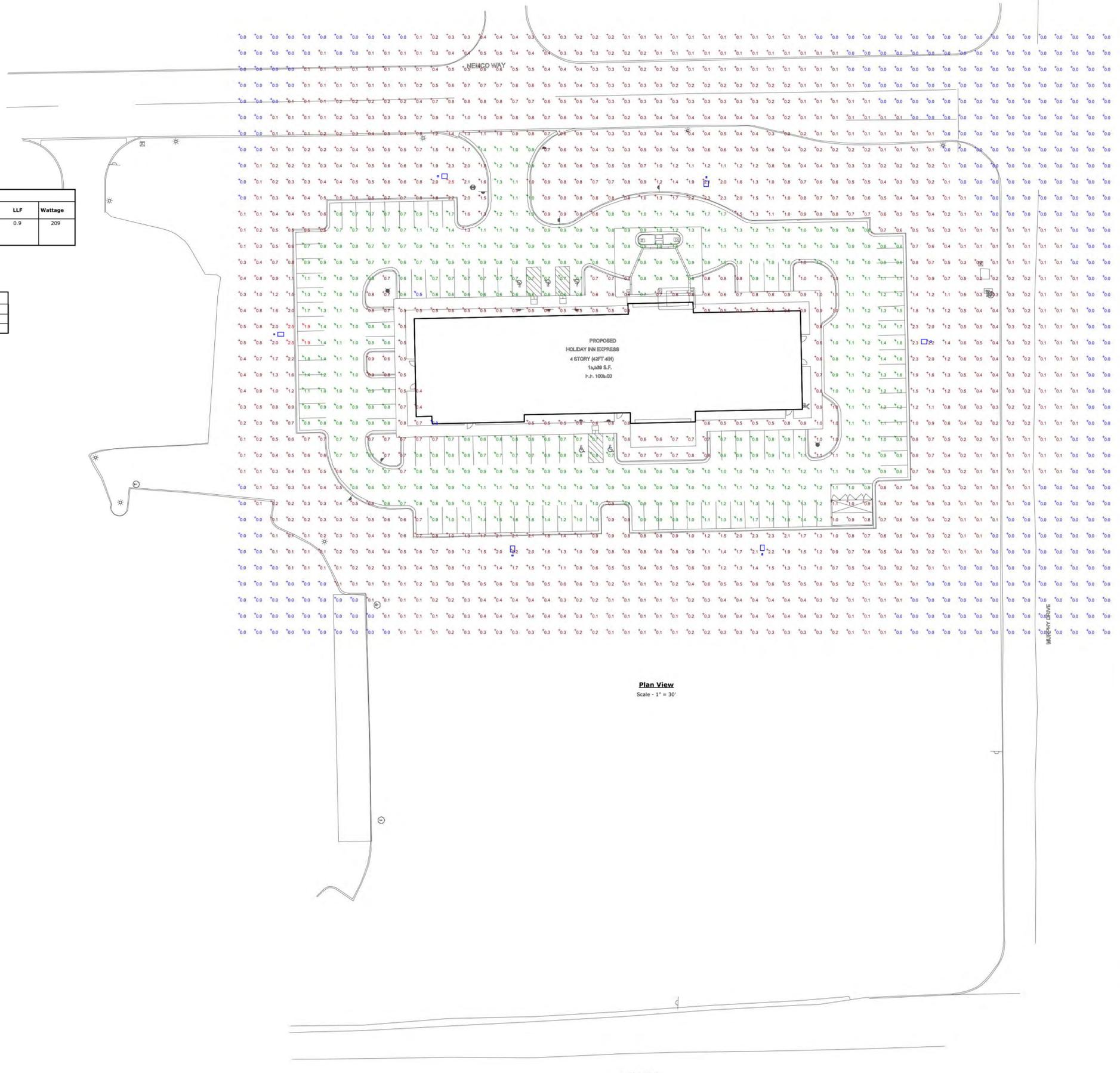
- EPA: 33*
- Length: 33"
- Width: 13"
- Height: 7-1/2"
- Weight (each): 27 lbs

Introduction

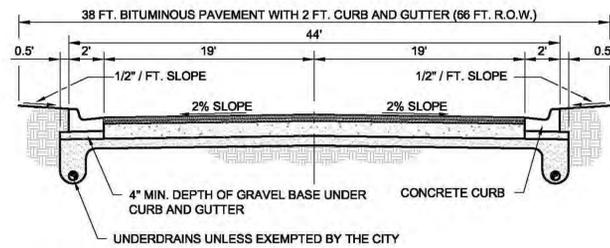
The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing 100-400W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information EXAMPLE: DSX1 LED 60C 1000 40K T3M MVOLT SPA DDBXD

Series	LED	Endowment	Color temperature	Pretilt/tilt	Driftage	Mounting
DSX1 LED	Forward optics	538 1/2" x 13"	30K 4000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	30K 4000K	700 1/2" x 13"	40K 4000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	40K 4000K	700 1/2" x 13"	50K 5000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	50K 5000K	700 1/2" x 13"	60K 6000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	60K 6000K	700 1/2" x 13"	70K 7000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	70K 7000K	700 1/2" x 13"	80K 8000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	80K 8000K	700 1/2" x 13"	90K 9000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	90K 9000K	700 1/2" x 13"	100K 10000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	100K 10000K	700 1/2" x 13"	110K 11000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	110K 11000K	700 1/2" x 13"	120K 12000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	120K 12000K	700 1/2" x 13"	130K 13000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	130K 13000K	700 1/2" x 13"	140K 14000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	140K 14000K	700 1/2" x 13"	150K 15000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	150K 15000K	700 1/2" x 13"	160K 16000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	160K 16000K	700 1/2" x 13"	170K 17000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	170K 17000K	700 1/2" x 13"	180K 18000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	180K 18000K	700 1/2" x 13"	190K 19000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	190K 19000K	700 1/2" x 13"	200K 20000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	200K 20000K	700 1/2" x 13"	210K 21000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	210K 21000K	700 1/2" x 13"	220K 22000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	220K 22000K	700 1/2" x 13"	230K 23000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	230K 23000K	700 1/2" x 13"	240K 24000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	240K 24000K	700 1/2" x 13"	250K 25000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	250K 25000K	700 1/2" x 13"	260K 26000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	260K 26000K	700 1/2" x 13"	270K 27000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	270K 27000K	700 1/2" x 13"	280K 28000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	280K 28000K	700 1/2" x 13"	290K 29000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	290K 29000K	700 1/2" x 13"	300K 30000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	300K 30000K	700 1/2" x 13"	310K 31000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	310K 31000K	700 1/2" x 13"	320K 32000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	320K 32000K	700 1/2" x 13"	330K 33000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	330K 33000K	700 1/2" x 13"	340K 34000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	340K 34000K	700 1/2" x 13"	350K 35000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	350K 35000K	700 1/2" x 13"	360K 36000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	360K 36000K	700 1/2" x 13"	370K 37000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	370K 37000K	700 1/2" x 13"	380K 38000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	380K 38000K	700 1/2" x 13"	390K 39000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA
	390K 39000K	700 1/2" x 13"	400K 40000K	T15 Sport Street T15 Sport Street	0/0°	SHD21 SPA

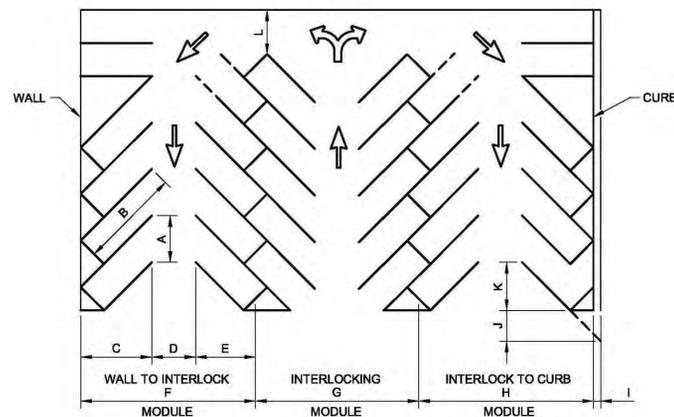


HOLIDAY INN EXPRESS
SITE LIGHTING VALUES AT GRADE
GASSER BUSH ASSOCIATES



1-1/2" BITUMINOUS AGGREGATE WEARING COURSE M.D.O.T. MIX 36A.
 USE 0.10 GAL/SY SS-1h BOND COAT BETWEEN COURSES.
 5" BITUMINOUS AGGREGATE LEVELING COURSE M.D.O.T. MIX 11A (2 COURSES).
 10" GRAVEL BASE, M.D.O.T. SPECIFICATION NO. 22A.
 12" CLASS II SUBBASE (DEPENDING ON SOILS) PREPARED, COMPACTED SUBGRADE.

TYPICAL COLLECTOR OR INDUSTRIAL PAVEMENT CROSS-SECTION



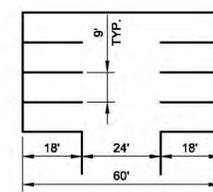
X = STALL NOT ACCESSIBLE IN CERTAIN LAYOUTS

PARKING LOT DIMENSIONS

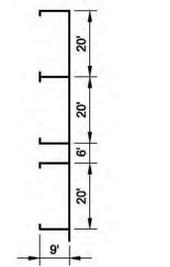
DIMENSION	ON DIAGRAM	45°	60°	75°	90°
STALL WIDTH PARALLEL TO AISLE	A	12.7	10.4	9.3	9.0
STALL LENGTH OF LINE	B	25.0	22.0	20.0	18.5
STALL DEPTH TO WALL	C	17.5	19.0	19.5	18.5
AISLE WIDTH BETWEEN STALL LINES	D	12.0	16.0	23.0	26.0
STALL DEPTH, INTERLOCK	E	15.3	17.5	18.8	18.5
MODULE, WALL TO INTERLOCK	F	44.8	52.5	61.3	63.0
MODULE, INTERLOCKING	G	42.6	51.0	61.0	63.0
MODULE, INTERLOCK TO CURB FACE	H	42.8	50.2	58.8	60.5
BUMPER OVERHANG (TYPICAL)	I	2.0	2.3	2.5	2.5
OFFSET	J	6.3	2.7	0.5	0.0
SETBACK	K	11.0	8.3	5.0	0.0
CROSS AISLE, ONE-WAY	L	14.0	14.0	14.0	14.0
CROSS AISLE, TWO-WAY	M	24.0	24.0	24.0	24.0

TYPICAL ANGLED PARKING LAYOUT

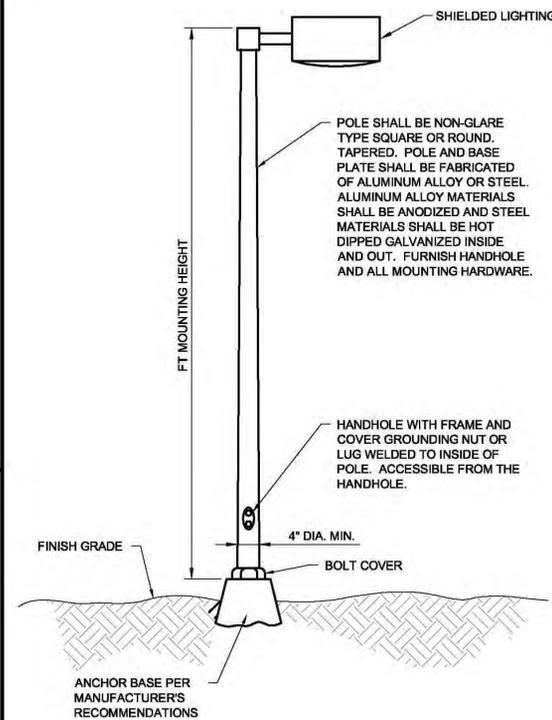
NOTE: PARKING DIMENSIONS ARE FOR 9 FOOT WIDE STALLS



TYPICAL 90° PARKING LAYOUT

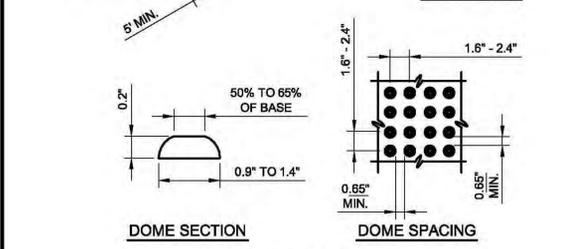
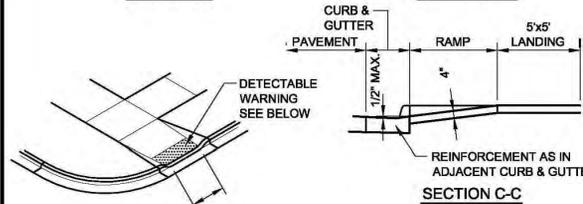
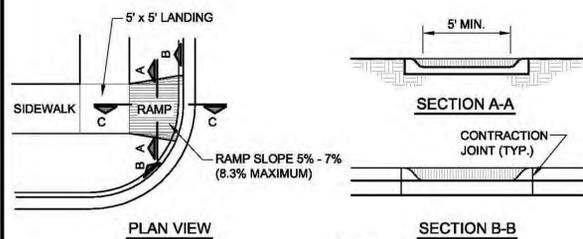


TYPICAL PARALLEL PARKING



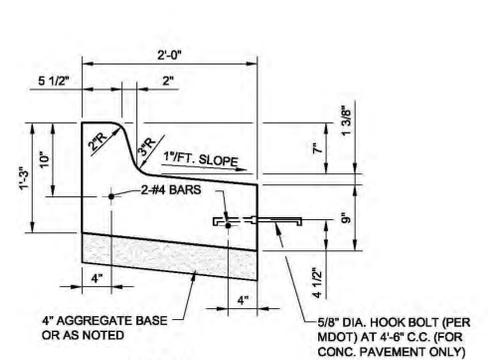
NOTES:
 1. NO LIGHT STANDARD SHALL BE MORE THAN 20 FEET IN HEIGHT.
 2. PARKING LOT LIGHTING SHALL MEET THE LUMINAIRE REQUIREMENTS OF SECTION 98-83 OF THE ZONING ORDINANCE.

TYPICAL PARKING AREA LIGHTING

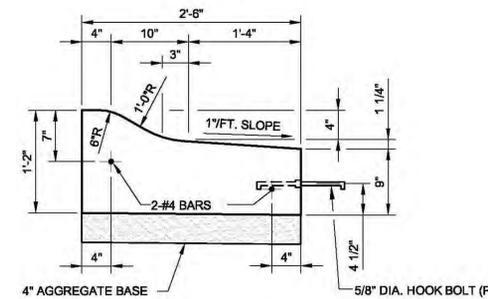


SIDWALK RAMP

NOTE: SEE MDOT R-28-F SIDEWALK RAMP AND DETECTABLE WARNING DETAILS FOR ADDITIONAL INFORMATION.

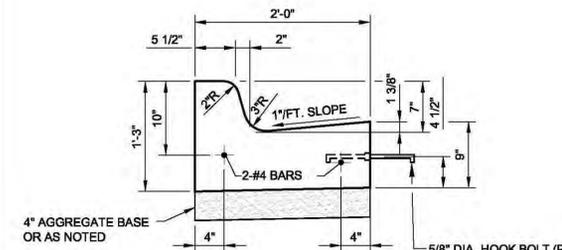


TYPE A1
MDOT DETAIL R-30-E - TYPE C - MODIFIED

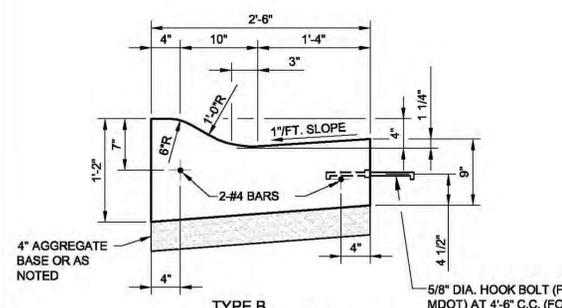


TYPE B1
MDOT DETAIL R-30-E - TYPE D - MODIFIED

CONCRETE CURB SPILLOUT

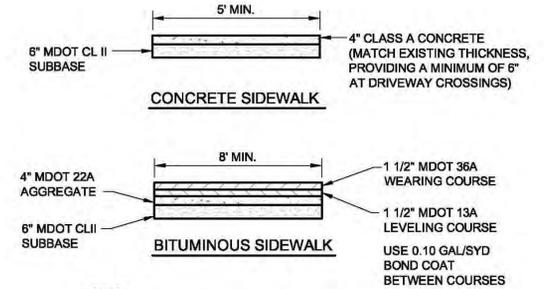


TYPE A
MDOT DETAIL R-30-E - TYPE C



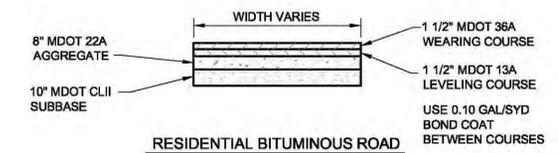
TYPE B
MDOT DETAIL R-30-E - TYPE D

CONCRETE CURB AND GUTTER

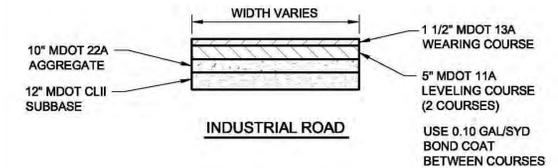


NOTES:
 1. SIDEWALKS WITHIN THE DOWNTOWN BUSINESS DISTRICT ARE SUBJECT TO SPECIAL REQUIREMENTS.
 2. CONCRETE SIDEWALKS TO BE PROVIDED ACROSS COMMERCIAL AND INDUSTRIAL DRIVEWAY ENTRANCES/ EXITS.

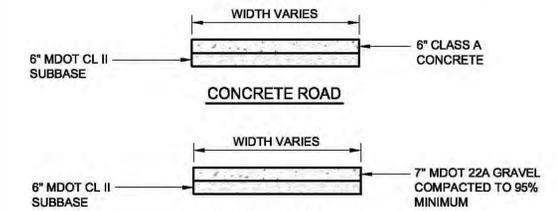
TYPICAL SIDEWALK SECTIONS



RESIDENTIAL BITUMINOUS ROAD



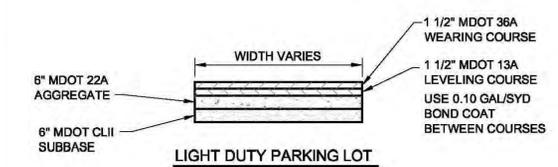
INDUSTRIAL ROAD



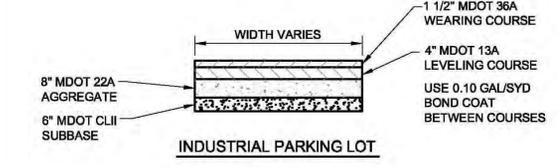
CONCRETE ROAD

GRAVEL ROAD

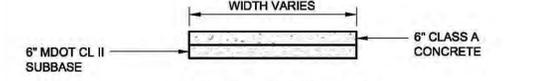
ROADWAY CROSS SECTIONS



LIGHT DUTY PARKING LOT



INDUSTRIAL PARKING LOT



CONCRETE PARKING LOT

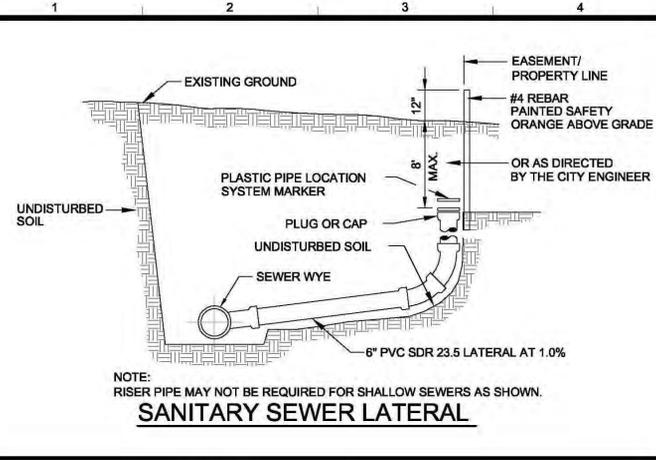
PARKING LOT CROSS SECTIONS



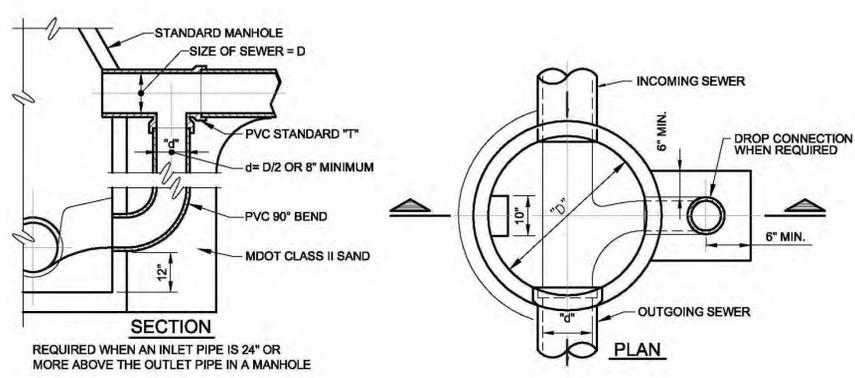
CITY OF BRIGHTON
ROADWAY, PARKING & SIDEWALK STANDARD DETAILS

Scale: NONE
 Issued Date: MAY - 2014

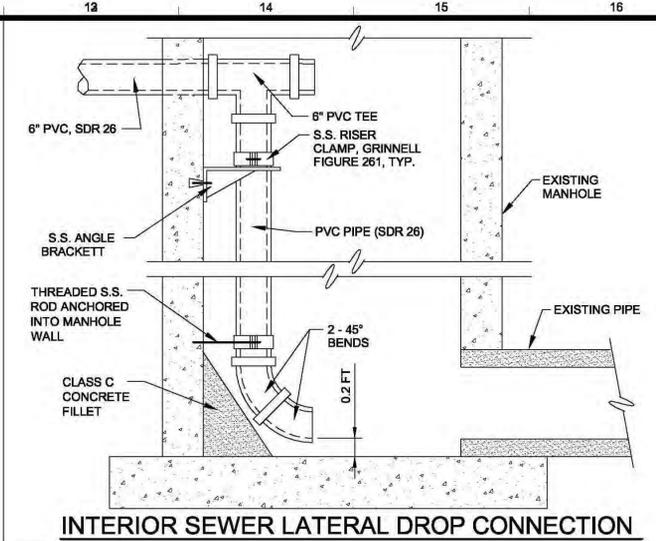
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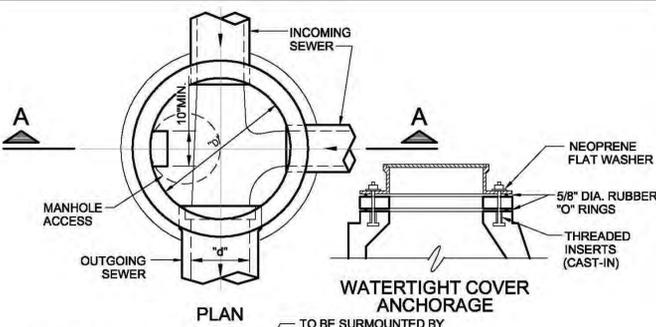
SANITARY SEWER LATERAL



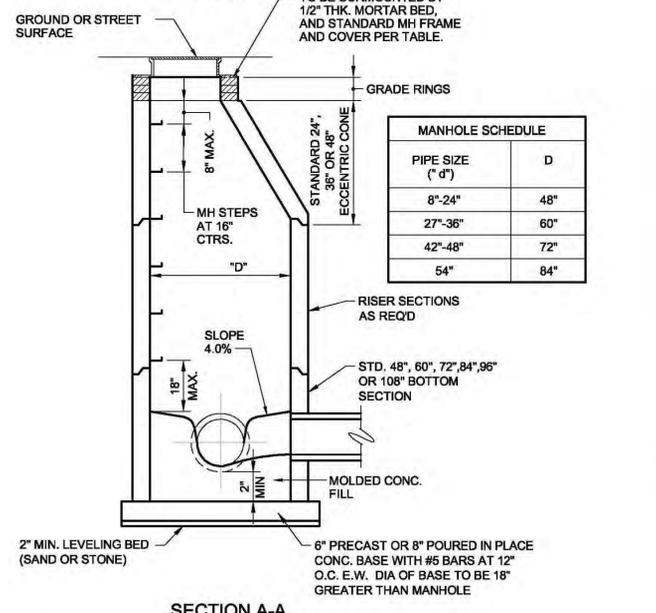
EXTERIOR DROP CONNECTION



INTERIOR SEWER LATERAL DROP CONNECTION



WATERTIGHT COVER ANCHORAGE

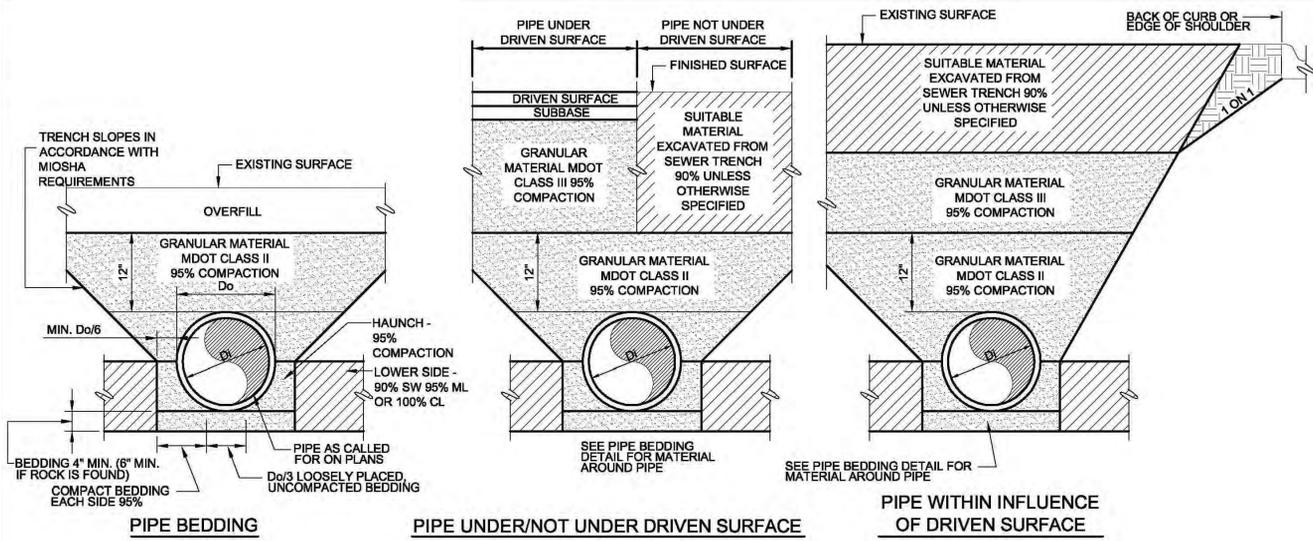


SECTION A-A

- NOTES:
1. ALL SANITARY MANHOLES TO BE PRECAST REINFORCED CONCRETE WITH PREMIUM JOINTS. SEE SPECIFICATIONS FOR BASE SLAB AND PIPE OPENINGS AND CONNECTIONS.
 2. MANHOLE CONES SHALL BE THE ECCENTRIC TYPE.
 3. PROVIDE 6" OF COMPACTED GRANULAR MATERIAL UNDER ALL PRECAST CONCRETE BASE SLABS.
 4. FORCE MAINS CONNECT DIRECTLY TO A MANHOLE SHALL BE INSTALLED SO THAT THE ELEVATION OF THE PIPE CROWNS MATCH. THE FORCE MAIN SHALL BE DIRECTED DOWNWARD INTO THE FLOW CHANNEL.
 5. FOR SANITARY SEWERS ALL PIPES SHALL ENTER MANHOLE THROUGH RUBBER BOOTED CONNECTION.

FRAME & COVER FOR SANITARY SEWER MANHOLES			
TYPE	TYPE OF COVER	MANUFACTURER OR EQUAL	
		EAST JORDAN	NEENAH
MH	SANITARY - SOLID SELF-SEALING	1040.0000	R-1642
MH	SANITARY - SOLID WATERTIGHT	1040-APT	R-1916-F
CO	SOLID	1574A	R-1973-A

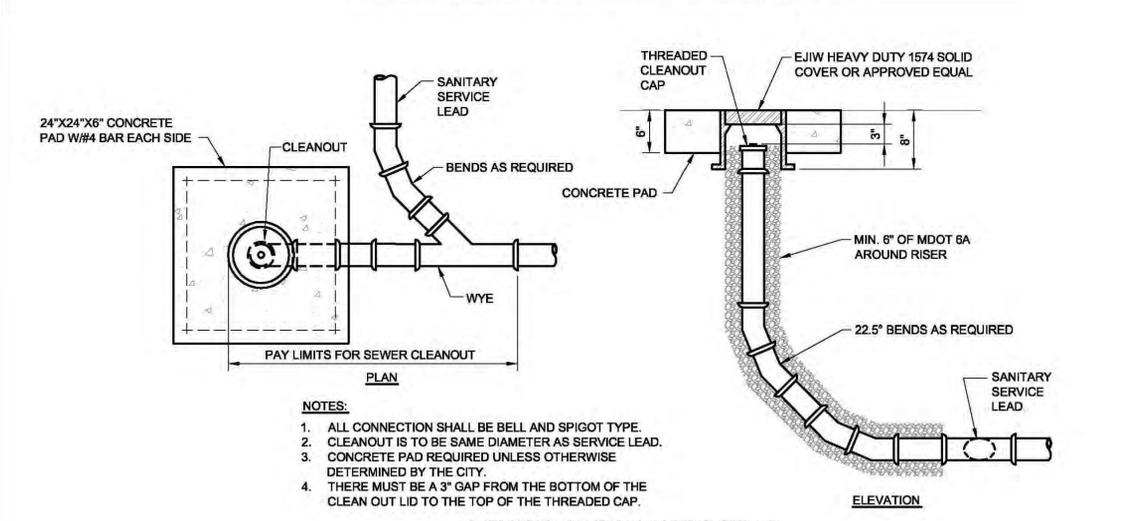
STANDARD MANHOLE



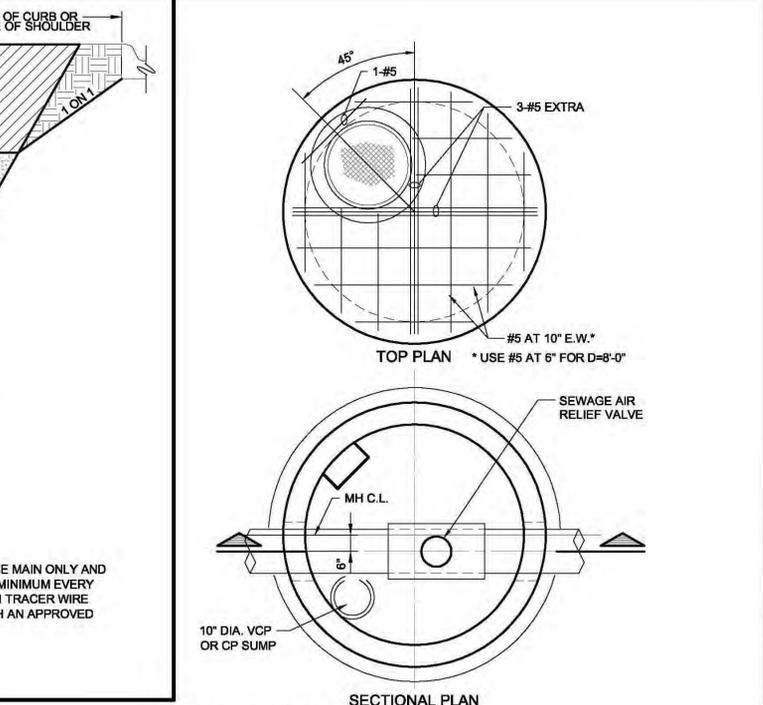
PIPE UNDER/NOT UNDER DRIVEN SURFACE

- NOTES:
1. COMPACTION PRESENTED AS MINIMUM STANDARD PROCTOR VALUES.
 2. MATERIALS AROUND THERMOPLASTIC PIPE WITH DIAMETER < 6 INCHES SHALL PASS 0.5 INCH SIEVE, MATERIALS AROUND OTHER PIPES SHALL PASS 1.5 INCH SIEVE.
 3. MATERIALS AROUND HDPE PIPE TO BE MDOT 6A OR 21AA.
 4. DRIVEN SURFACE IS DRIVEWAY, PARKING AREA, ROAD BED OR SHOULDER.
 5. UTILITY TRENCHES LOCATED WITHIN A MDOT ROW SHALL CONFORM TO MDOT STANDARD DETAIL R-83.
 6. TRACER WIRE IS REQUIRED ON FORCE MAIN ONLY AND SHALL BE BROUGHT TO GRADE AT A MINIMUM EVERY 100 FEET IN A APPROVED CAST IRON TRACER WIRE BOX ENCASED IN CONCRETE OR WITH AN APPROVED GREEN MARKER POST.

TRENCH EXCAVATION & PIPE BEDDING



SEWER CLEANOUT DETAIL



SECTIONAL PLAN

AIR RELIEF STRUCTURE

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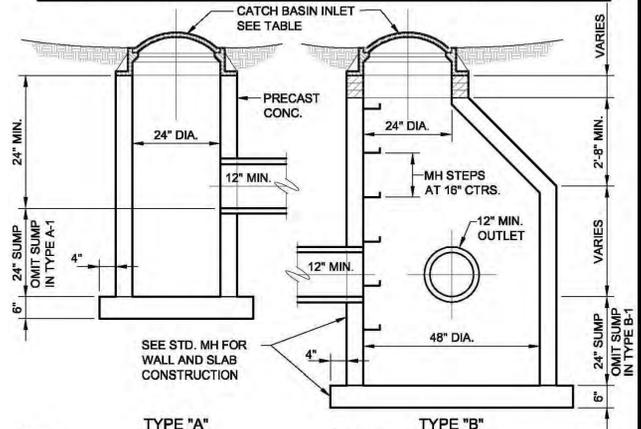


CITY OF BRIGHTON

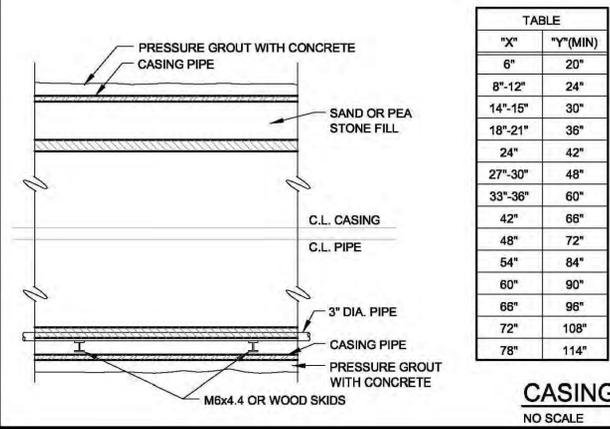
SANITARY SEWER STANDARD DETAILS

Scale: NONE
Issued Date: MAY - 2014

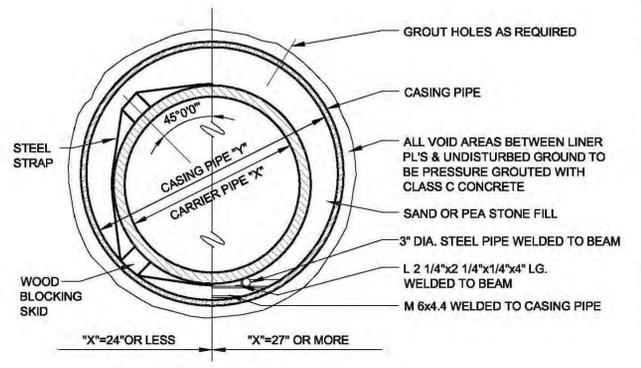
MANHOLE FRAME & COVER & CATCH BASIN INLETS					
TYPE	LOCATION	MANUFACTURER OR EQUAL		TYPE OF COVER OR INLET	MAXIMUM DRAINAGE AREA (ACRES)
		EAST JORDAN	NEENAH		
MH	ALL	1040	R-1916 F1	SANITARY-SOLID SELF-SEALING STORM-VENTED	N/A
CB	TYPE A CURB	7000-T1-M1	R-3070	FLAT GRATE WITH VERT. OPEN BACK	0.71
CB	TYPE B CURB	7065-T1-M1	R-3034-B	FLAT GRATE WITH ROLL BACK	0.87
CB	PAVEMENT/ SHOULDER	1020-M1	R-2060-D	FLAT GRATE	0.66
CB	OPEN AREA	1020-01	R-2560-D	BEEHIVE GRATE 4" HIGH	0.63
CB	GUTTER	5100	R-3238	CONCAVE INLET	0.86



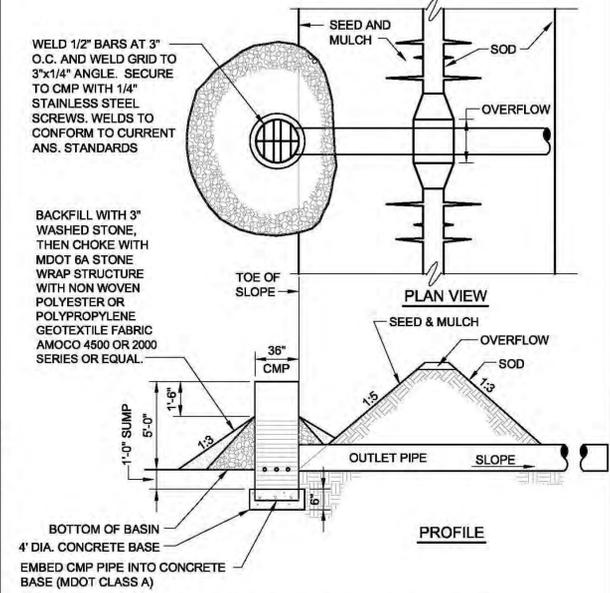
CATCH BASIN



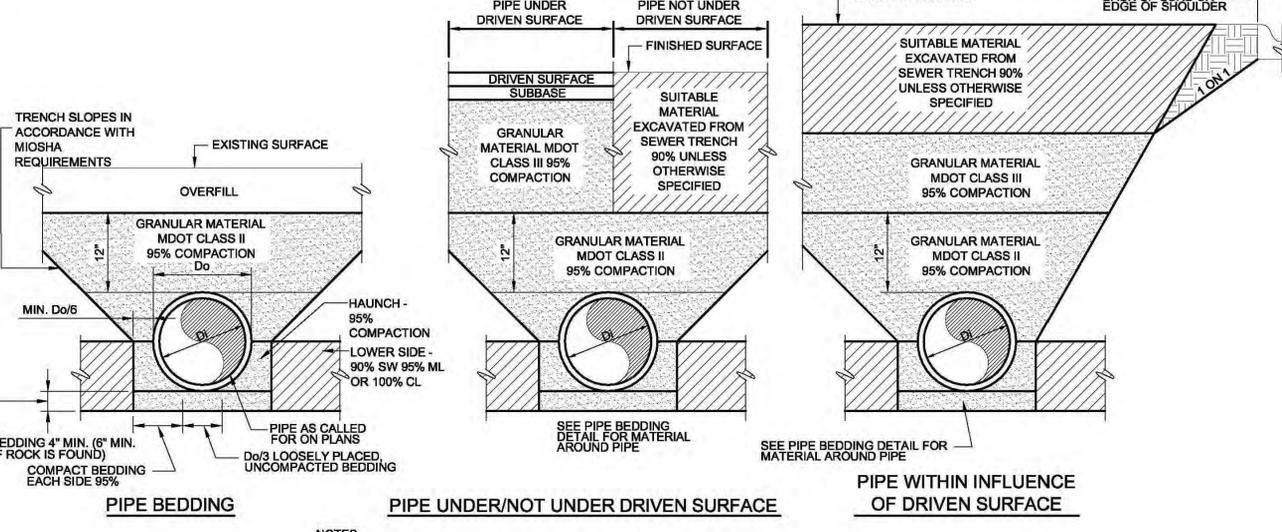
CASING PIPE AT HIGHWAY AND RAILROAD CROSSING



- NOTES:
- SEE SPECIFICATIONS FOR ALTERNATE CONSTRUCTION METHODS.
 - BORING SHALL BE AT 90 DEGREES TO ALL CROSSINGS UNLESS OTHERWISE APPROVED. THE BORING OF THE HOLE AND INSTALLATION OF THE CASING PIPE SHALL BE SIMULTANEOUS. BORE HOLE DIAMETER SHALL ESSENTIALLY BE THE SAME AS THE OUTSIDE DIAMETER OF THE CASING PIPE TO BE INSTALLED.
 - BORING TO EXTEND A MINIMUM OF 10' OUTSIDE THE EDGE OF PAVEMENT.
 - CASING SPACERS SHALL BE RESTRAINED-TYPE BOLTED SPACERS AND SHALL HAVE A MAXIMUM SPACING AS NOTED BELOW OR AS RECOMMENDED BY MANUFACTURER, WHICHEVER IS CLOSER. PIPE CASING SPACERS SHALL BE EQUIVALENT TO RANGER PLASTIC CASING SPACERS AS MANUFACTURED BY PIPELINE SEAL AND INSULATOR, INC. OR APPROVED EQUAL.
 - SPACER SHALL BE PLACED MAXIMUM 1' ON EACH SIDE OF CARRIER PIPE JOINT.
 - TYPICAL 6" MAXIMUM SPACING BETWEEN SPACERS.
 - MINIMUM ONE CASING SPACER WITHIN 1' OF EACH END OF CASING.
 - INSTALL STEEL ASSEMBLY FOR CARRIER PIPE SUPPORT AS SHOWN IN DRAWING AND DETAILED IN SPECIFICATIONS. SKIDS ARE REQUIRED TO EXTEND TO FULL LENGTH OF THE CASING.
 - CASING END SEALS SHALL BE SYNTHETIC NEOPRENE RUBBER PULL-ON TYPE END SEALS WITH STAINLESS STEEL BANDS, AS MANUFACTURED BY PIPELINE SEAL AND INSULATOR, INC. OR APPROVED EQUAL.



OUTLET CONTROL STRUCTURE

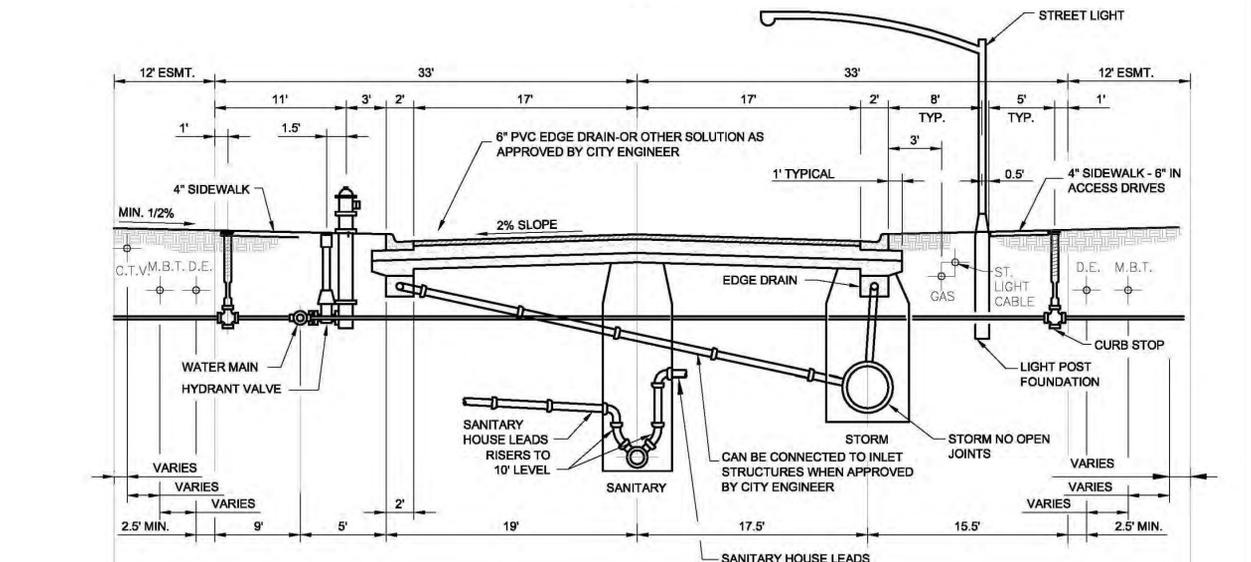


TRENCH EXCAVATION & PIPE BEDDING

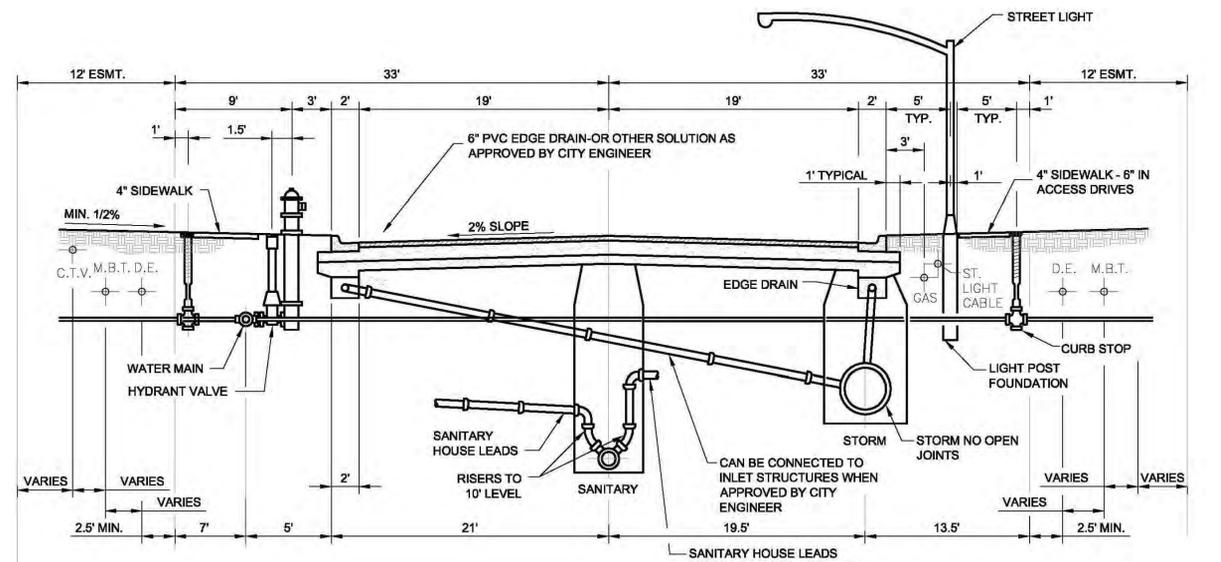
NOTE: TYPE A-1 EQUAL TO TYPE "A" EXCLUDING 24" SUMP BUT ADD ON BOTTOM CONC. FILLET.

NOTE: TYPE B-1 EQUAL TO TYPE "B" EXCLUDING 24" SUMP BUT ADD ON BOTTOM CONC. FILLET.

- NOTES:
- COMPACTION PRESENTED AS MINIMUM STANDARD PROCTOR VALUES.
 - MATERIALS AROUND THERMOPLASTIC PIPE WITH DIAMETER < 6 INCHES SHALL PASS 0.5 INCH SIEVE. MATERIALS AROUND OTHER PIPES SHALL PASS 1.5 INCH SIEVE.
 - MATERIALS AROUND HDPE PIPE TO BE MDOOT 6A OR 21AA.
 - DRIVEN SURFACE IS DRIVEWAY, PARKING AREA, ROAD BED OR SHOULDER.
 - UTILITY TRENCHES LOCATED WITHIN A MDOOT ROW SHALL CONFORM TO MDOOT STANDARD DETAIL R-83.



TYPICAL RESIDENTIAL STREET



TYPICAL COLLECTOR OR INDUSTRIAL STREET



CITY OF BRIGHTON

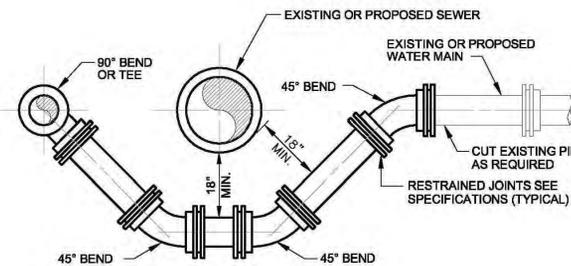
STORM SEWER & STREET DETAILS
STANDARD DETAILS

Scale: PARKING
Issued Date: MAY - 2014

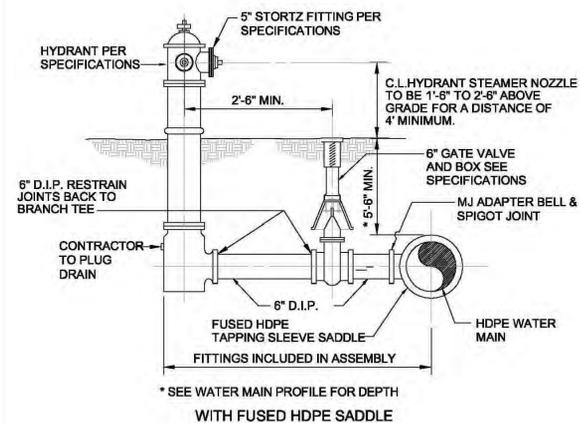
Thursday, October 02, 2014 10:48:02 AM DRAWING: C:\Projects\laning\IER12768\00-000\CAD\SheetFiles\Standards\Brighton-std.DWG

PIPE RESTRAINT SCHEDULE							
GROUND BURIED PRESSURE PIPE - POLYETHYLENE ENCASED DUCTILE IRON PIPE							
PIPE DIAMETER	TEES, 90° BENDS	45° BENDS	22-1/2° BENDS	11-1/4° BENDS	DEAD ENDS	REDUCERS (ONE SIZE REDUCTION)*	REDUCERS (TWO SIZE REDUCTION)*
4	13	5	3	1	40	-	-
6	19	8	4	2	58	31	-
8	24	10	5	2	75	30	70
12	34	14	7	3	107	57	116
16	43	18	9	4	139	59	137
20	52	22	10	5	169	59	134
24	61	25	12	6	199	60	132
30	73	30	15	7	242	85	168
36	84	35	17	8	281	84	168

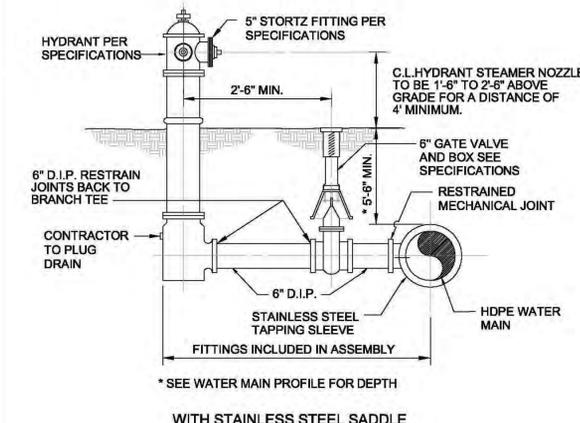
- LENGTHS OF PIPE RESTRAINT ARE GIVEN IN FEET.
 - IF REQUIRED PIPE DIAMETER IS NOT LISTED IN THIS TABLE, THE NEXT LARGEST PIPE DIAMETER SHALL BE USED.
 - THIS TABLE IS BASED ON A TEST PRESSURE OF 180 PSI (OPERATING PRESSURE PLUS WATER HAMMER. FOR OTHER TEST PRESSURES, ALL VALUES TO BE INCREASED OR DECREASED PROPORTIONALLY.
 - THE VALUES PROVIDED OF RESTRAINT LENGTH ARE IN EACH DIRECTION FROM THE POINT OF DEFLECTION OR TERMINATION EXCEPT FOR TEES, AT WHICH ONLY THE BRANCH IN THE DIRECTION OF THE STEM.
 - IF TIE RODS ARE USED, USE FOUR RODS MINIMUM AND ADD 1/8-INCH TO BAR DIAMETER AS CORROSION ALLOWANCE.
- * SIZE REDUCTION IS BASED UPON THE PIPE DIAMETER SHOWN IN THIS TABLE.
- BASED UPON: INTERNAL PRESSURE: 180
PIPE DEPTH: 5
BEDDING CLASS: TYPE 4
SOIL TYPE: GOOD SAND
SAFETY FACTOR: 2



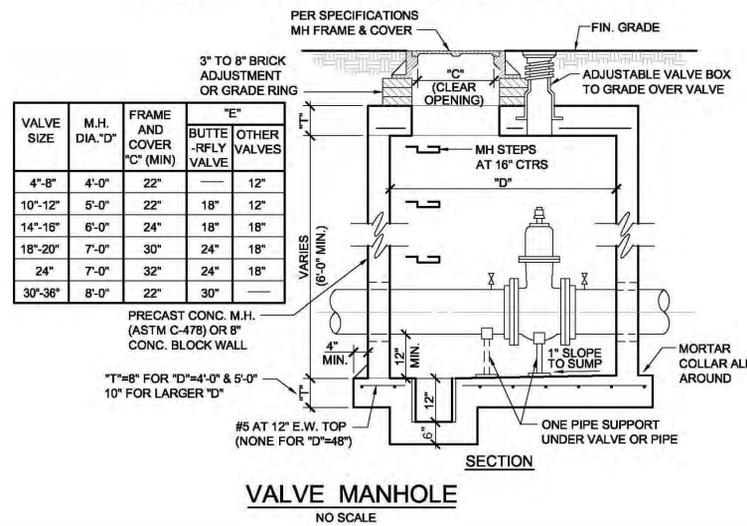
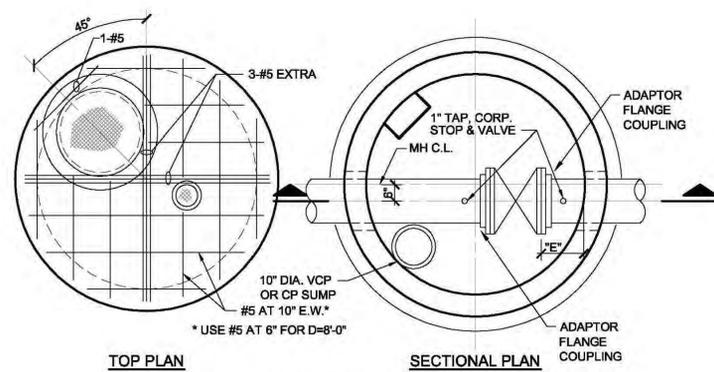
WATER MAIN UTILITY OFFSET



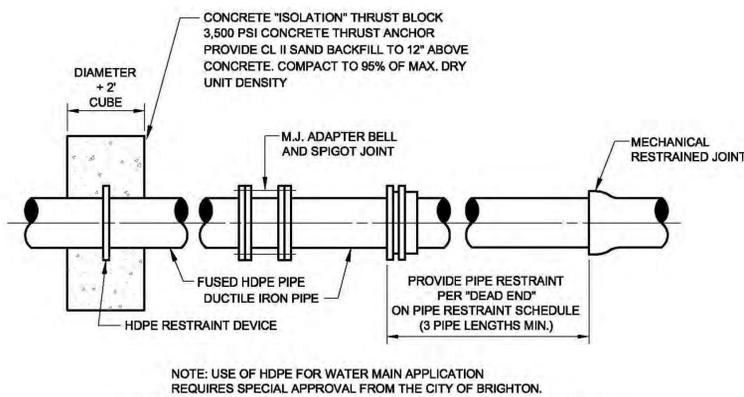
FIRE HYDRANT ASSEMBLY CONNECTION TO HDPE WATER MAIN WITH FUSED HDPE SADDLE



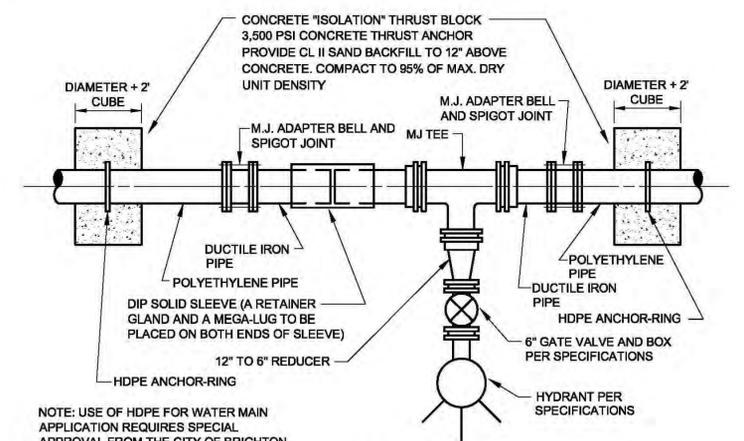
FIRE HYDRANT ASSEMBLY CONNECTION TO HDPE WATER MAIN WITH STAINLESS STEEL SADDLE



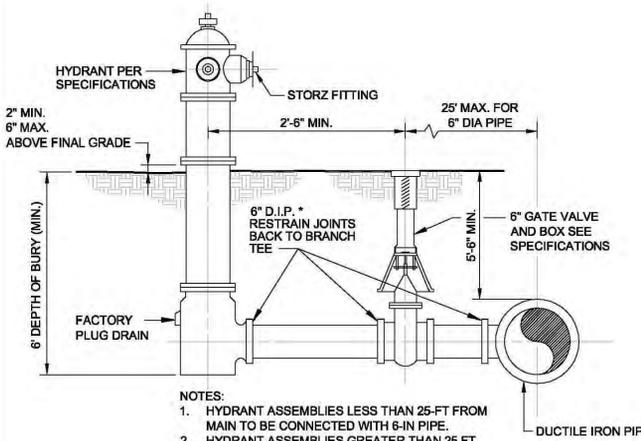
VALVE MANHOLE



HDPE TO DIP PIPE CONNECTION DETAIL



FIRE HYDRANT ASSEMBLY DIP TEE CONNECTION TO HDPE WATER MAIN



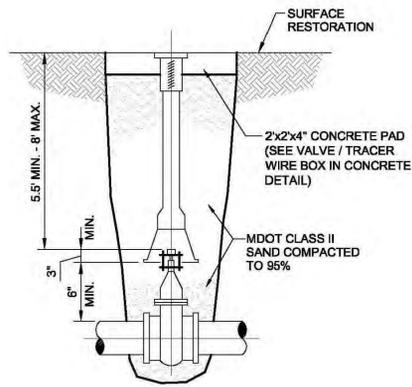
FIRE HYDRANT ASSEMBLY



CITY OF BRIGHTON
WATER MAIN - SHEET 1 OF 2
STANDARD DETAILS

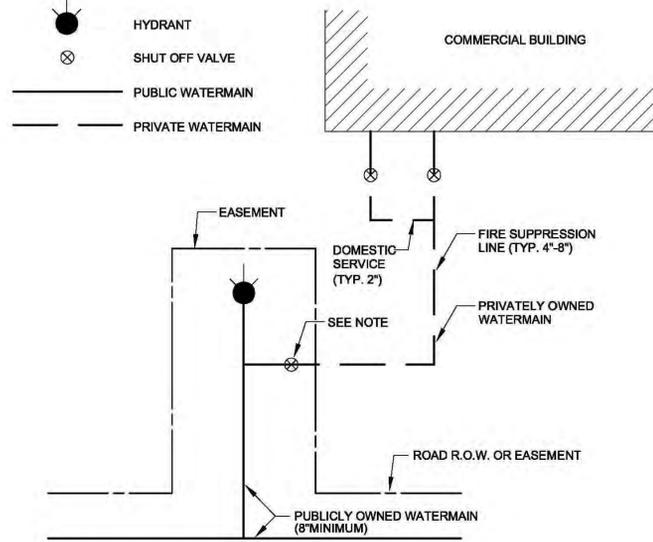
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Issued Date: MAY - 2014

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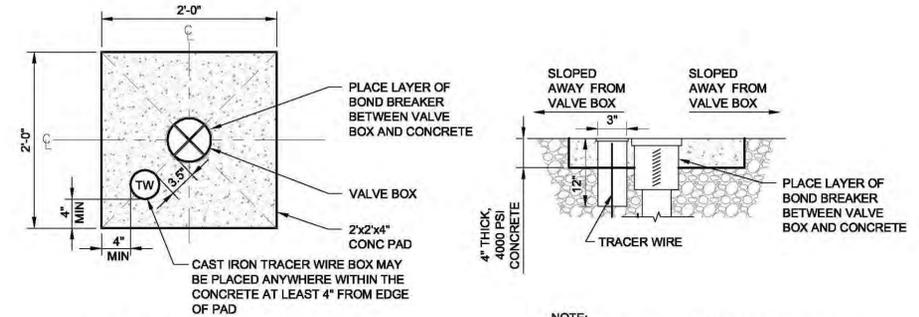
- NOTES:
1. VALVE BOX SHALL NOT REST ON VALVE OR MAIN LINE PIPE.
 2. A VALVE STEM EXTENSION WITH CENTERING RING IS REQUIRED FOR VALVES BURIED DEEPER THAN 6".

GATE VALVE AND BOX



NOTE: PUBLICLY OWNED SHUT OFF VALVE TO BE LOCATED IN EASEMENT.

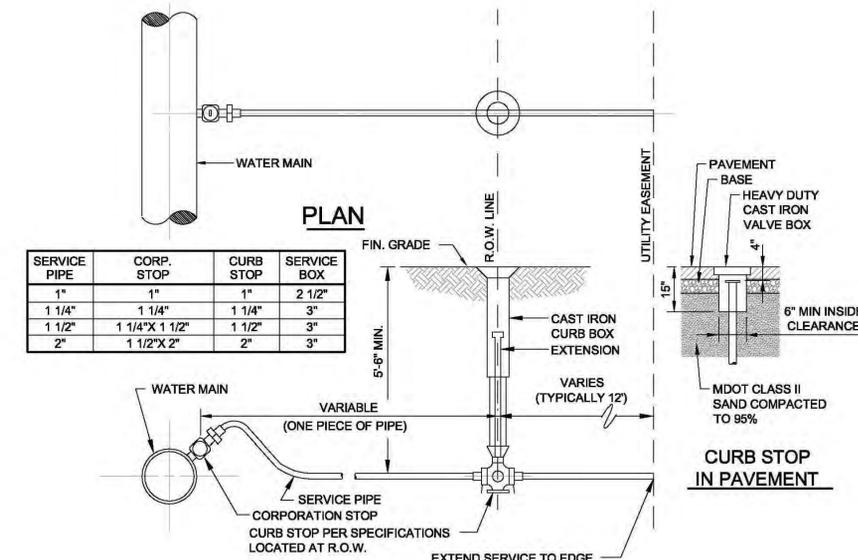
COMMERCIAL BUILDING WATER SERVICE LAYOUT



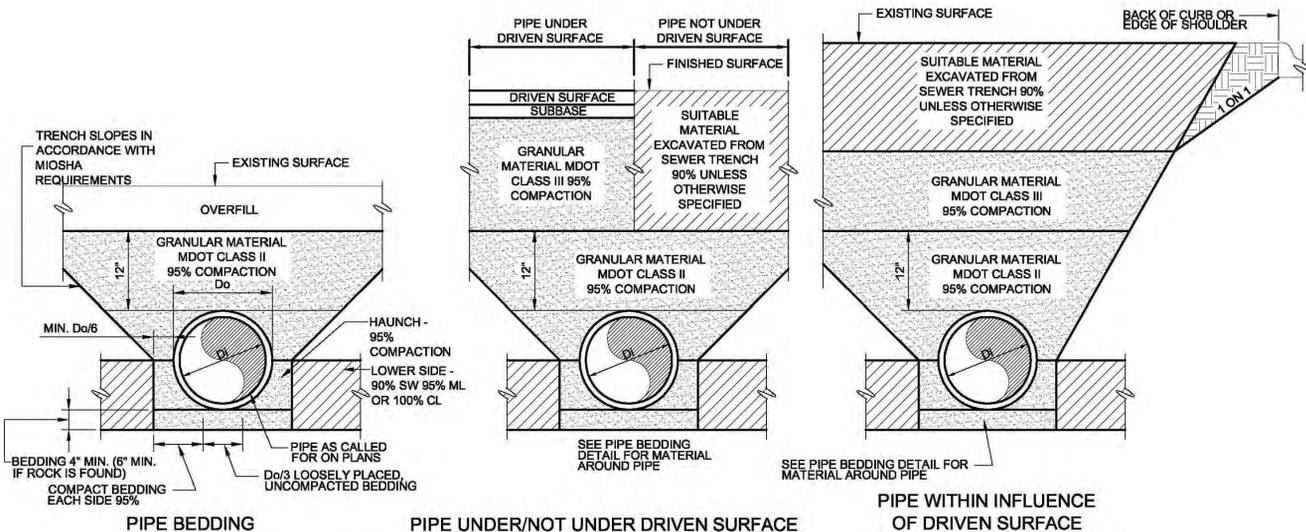
NOTE: ALL BOXES & ADJOINING TW BOXES SHALL BE ENCASED IN A CONC. PAD UNLESS OTHERWISE DETERMINED BY THE CITY.

- NOTE:
1. TRACER WIRE BOXES LOCATED WITHOUT A VALVE BOX ONLY REQUIRE AN 18" X 18" CONCRETE PAD.
 2. TRACER WIRE BOX SHALL HAVE A LOCKING LID W/STANDARD AWWA PENTAGON KEY.

GATE VALVE/TRACER WIRE BOX IN CONCRETE DETAIL
NO SCALE

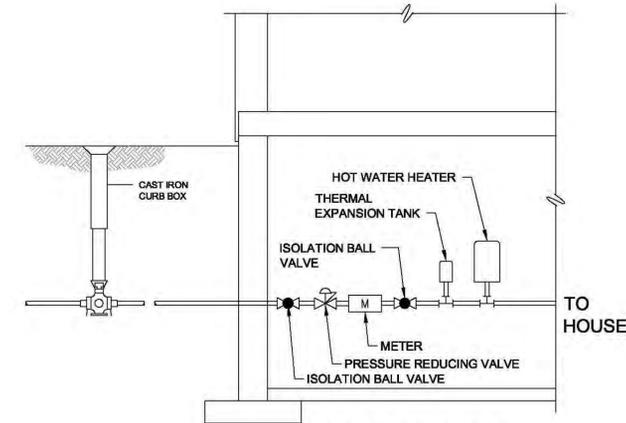


SECTION WATER SERVICE LATERAL



- NOTES:
1. COMPACTION PRESENTED AS MINIMUM STANDARD PROCTOR VALUES.
 2. MATERIALS AROUND THERMOPLASTIC PIPE WITH DIAMETER < 6 INCHES SHALL PASS 0.5 INCH SIEVE, MATERIALS AROUND OTHER PIPES SHALL PASS 1.5 INCH SIEVE.
 3. MATERIALS AROUND HDPE PIPE TO BE MDOT 6A OR 21AA.
 4. DRIVEN SURFACE IS DRIVEWAY, PARKING AREA, ROAD BED OR SHOULDER.
 5. UTILITY TRENCHES LOCATED WITHIN A MDOT ROW SHALL CONFORM TO MDOT STANDARD DETAIL R-83.

TRENCH EXCAVATION & PIPE BEDDING



PRIVATE RESIDENCE PRESSURE REDUCING VALVE (PRV)

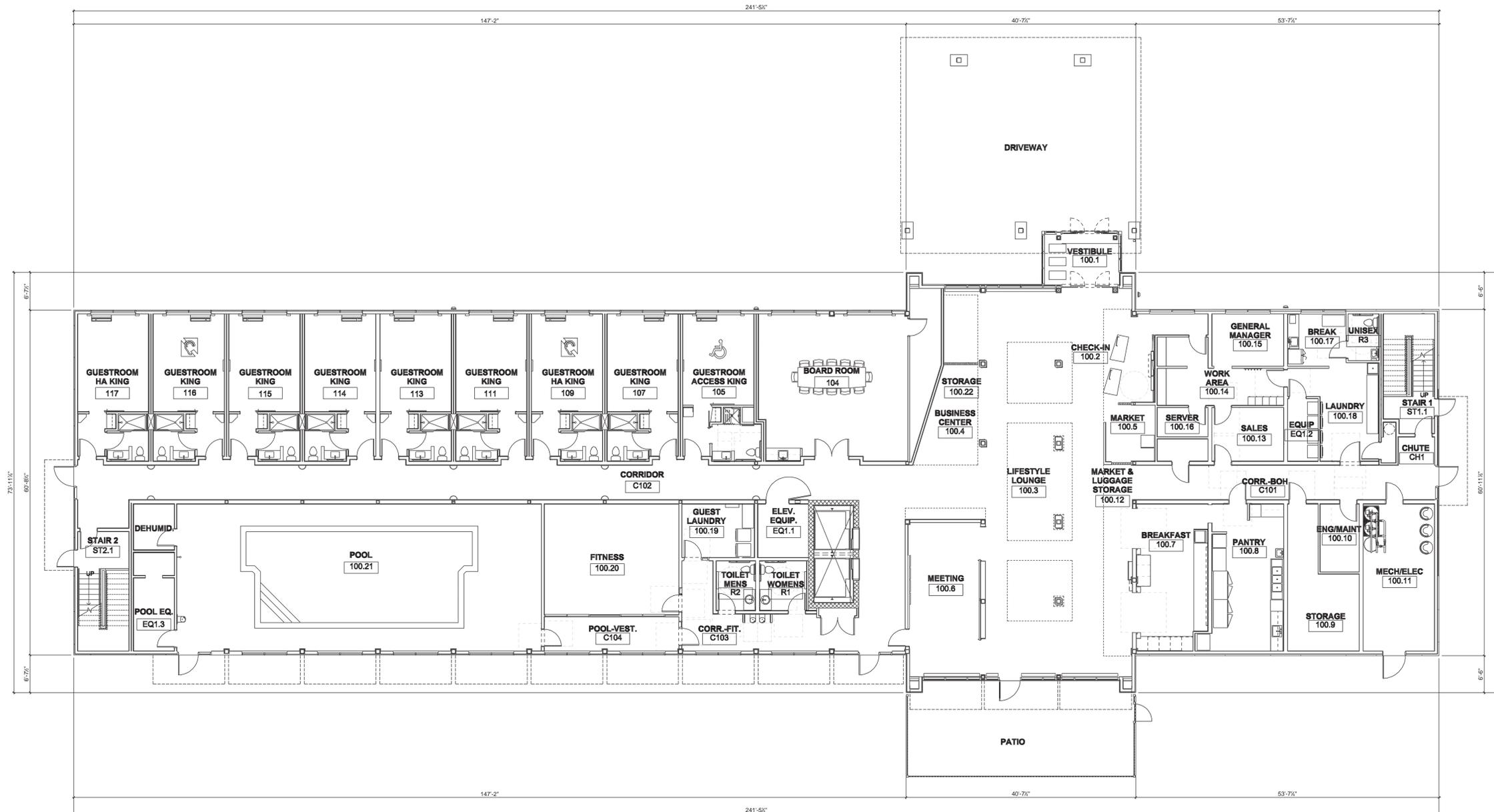
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CITY OF BRIGHTON

WATER MAIN - SHEET 2 OF 2
STANDARD DETAILS

Scale: NONE
Issued Date: MAY - 2014



PROPOSED FLOOR PLAN AND ELEVATION



SCALE

1/8" = 1'-0"

the
THANK
SHOP

5039 Riverside Drive
Brighton, Michigan 48116
810.844.0726
(f) 810.295.3039
www.thankshop.us
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APPLICANT
Asonar Holdings, Inc.
32825 Northwestern Highway
Farmington Hills, MI 48334

OWNER
Stuart East Storage, Inc.
17000 Kercheval, Suite 272
Grosse Pointe, MI 48230

PROJECT
Holiday Inn Express
Brighton Town & Square
Brighton, MI

DRAWING
Proposed Floor Plan And Elevation

DATE

JOB #
proj_2016_07

SHEET #
A-1.1



CITY OF BRIGHTON
REPORT FROM THE CITY MANAGER TO CITY COUNCIL
MAY 25, 2016

**SUBJECT: CONSIDERATION OF SITE PLAN APPROVAL #16-004,
PARKING LOT IMPROVEMENTS, 600 E. MAIN ST. (Lynch & Son's Funeral Home)**

ADMINISTRATIVE SUMMARY

- Lynch & Co Funeral Directors submitted a plan to reconstruct the parking lot at 600 E. Main Street (Lynch & Son's Funeral Home). The reconstruction will improve the use and update the exterior landscape.
- The improvements to the parking lot will better define traffic movement, provide additional parking spaces, and control storm-water runoff.
- The reconstruction will also provide the appropriate required ADA parking and access.
- The current parking lot is located on a portion of an easement, whereas the new lot will be removed from the easement completely.
- The improvements done to the parking lot will require a 10 percent grade at the entrance instead of the 8 percent grade as required by City of Brighton Engineering Standards. Gary Markstrom, from Tetrattech, spoke at the Planning Commission meeting stating this will not be a problem since the 10 percent grade is only at the entrance, and not throughout the rest of the parking lot.

RECOMMENDATION

The site plan complies with the requirements of the City of Brighton Ordinance and received unanimous approval by the Planning Commission at the May 16, 2016 regular meeting. It is recommended that site plan #16-004, Parking Lot Improvements at 600 E. Main St., be approved as submitted.

Prepared by: Michael Caruso,
Community Development

Reviewed by: Matt Modrack,
DDA / Community Development Director

Approved by: Nate Geinzer,
City Manager

**City of Brighton
Planning Commission
Meeting Minutes
May 16, 2016**

1. Call to Order/Roll Call

Chairperson Monet called the meeting to order at 7:30 p.m.

The following Commissioners were present:

Jim Bohn	William Bryan
Steve Monet	Susan Gardner
Dave Petrak	Michael Schutz
David McLane	Robert Pawlowski
Matt Smith	

Also present was Nate Geinzer, City Manager; Gary Markstrom of TTMPs, Rob Stanford and Scott Barb of Livingston County Planning, and an audience of 6.

2. Approval of the April 18, 2016 Regular Meeting Minutes

Motion by Commissioner Petrak, supported by Commissioner McLane, to approve the April 18, 2016 regular meeting minutes as presented. **The motion carried 8-0-1, with Commissioner Smith abstaining.**

3. Approval of the May 16, 2016 Agenda

Motion by Commissioner Smith, supported by Commissioner Pawlowski, to approve the agenda as presented. **The motion carried 9-0-0.**

4. Call to the Public

The call to the public was made at 7:31 pm.

Mr. Martin Halloran of 624 W. Main Street lives next to Lynch Funeral Home. He wants to ensure that there is not going to be any work done in the easement between his home and the funeral home property.

The call to the public was closed at 7:32 pm.

New Business

5. Site Plan Amendment – 8539 W. Grand River, Potbelly's / Vitamin Shop - #16-003

Mr. Geinzer stated that the applicant is not present this evening.

Chairman Monet stated that both the planner and engineer are recommending denial of this request.

Motion, by Commissioner Smith, supported by Commissioner Gardner, to deny the request by Leka Pecaj for a site plan amendment at 8539 W. Grand River. **The motion carried 9-0-0.**

6. Site Plan – Lynch & Sons Funeral Home – Parking Lot Improvements, 600 E. Main Street #16-004

Mr. Wayne Perry of Desine, Inc. gave a review of the proposed project. They would like to lower the grade of the parking lot, repave it, provide ADA access, and install new landscaping, lighting, a fence and a retaining wall. He noted that currently the parking lot is on a portion of the easement addressed by Mr. Halloran. They are proposing to remove the parking lot from this area and replace it with grass and / or landscaping.

Mr. Perry stated he will meet all of the requirements in the engineer's letter dated May 5, 2016; however, it is not possible to achieve and 8 percent grade in the parking lot as requested. Mr. Markstrom does not feel this will be a problem since the 10 percent grade is only at the entrance.

Motion by Commissioner Pawlowski, supported by Commission Bryan, to recommend to City Council approval of the Site Plan for Lynch & Sons Funeral Home as presented. **The motion carried 9-0-0.**

Other Business

7. Site Plan – Holiday Inn Express, Brighton Towne Square (revised plan) - #16-002.

Mr. Kevin Staley of PEA and Jimmy Asmar of Asmar Holdings, Inc. were present.

Mr. Staley stated they have addressed the three outstanding items discussed at the last Planning Commission meeting. They have revised the emergency access and feel it will meet the requirements of the Brighton Area Fire Authority. They have not received a review letter from them.

They are proposing to place an access drive on the south portion of the site onto Murphy Drive, which will be 250 feet from the Challis Road intersection. They will not be able to meet the 150 foot distance requirement from the driveway of the development across Murphy Drive; however, there is no left-turn conflict with this drive. He noted that Asmar Holdings has acquired the southern portion of the property to develop; however, they are not certain what

will be placed there. They are proposing to not install the roadway at this time as they would like to be able to move the drive inside the parcel at that time. They will install the curb cut. They will provide an access drive from the property to the north to the property to the south.

Mr. Asmar showed colored renderings of the elevations. The building will be 100 percent brick and accent stone.

Mr. Stanford suggested that "No Parking – Fire Access" signs be placed at the emergency access drive. He agreed with Mr. Staley that the access drive on Murphy does not meet the 150-foot requirements as it is only 140 feet from that driveway. They have met all of their other outstanding requirements and he is recommending approval conditioned upon approval of the emergency access drive from the Brighton Area Fire Authority as well as approval from the engineer of the driveway onto Murphy Drive.

Motion by Commissioner Petrak, seconded by Commissioner Schutz, to recommend to City Council approval of the Site Plan for Holiday Inn Express, Brighton Towne Square, with the following conditions:

1. Approval of the emergency access drive by the Brighton Area Fire Authority
2. Final engineering approval of the driveway onto Murphy Drive

The motion carried 9-0-0.

8. Staff Updates

Mr. Geinzer stated there will be a joint meeting between City Council, the Planning Commission, and the consultant who will be performing the ordinance updated on Monday, June 6, 2016 at 6:30 pm in the council chambers.

9. Commissioners Report

Commissioner Smith asked if he could still receive copies of the meeting packets, even when he is not able to attend.

Commissioner Petrak questioned if there is an ordinance with regard to B&B's or short-term rentals in residential neighborhoods. Mr. Geinzer stated this can be addressed during the ordinance update.

10. Call to the Public

The call to the public was made at 8:16 pm with no response.

11. Adjournment

Motion by Commissioner Smith, supported by Commissioner Bohn, to adjourn the meeting at 8:16 pm. **The motion carried 9-0-0.**

Planning Commission Meeting Minutes
May 16, 2016

Bill Bryan, Secretary

Patty Thomas, Recording Secretary

PROPOSED SITE PLAN FOR

LYNCH & SONS Parking Lot improvements

CITY OF BRIGHTON, LIVINGSTON COUNTY, MICHIGAN

LEGAL DESCRIPTION

Premises situated in the City of Brighton, County of Livingston and State of Michigan, to-wit:
 Lots 1, 2 and 3 of "Brighton Heights Subdivision," except that portion of Lot 1 lying South of the South line of the vacated public alley.
 Also a parcel of land described as follows:
BEGINNING at a point in the South line of Main Street distant S88°30'E 386.5 feet; thence S15°30'E 34.5 feet from the South 1/4 Post of Section 30, T2N, R6E, Michigan; thence S15°30'E 122.0 feet; thence S74°10'W 59.4 feet; thence N15°20'W 60.9 feet; thence S87°30'W 38.5 feet; thence N117°E 74.4 feet; thence S88°30'E 74.7 feet to the Beginning.
 Containing approximately 8500 square feet.
 Also a part of a vacated alley lying between Lot 1 and the West 1/2 of Lot 2 and Lot 31 of said subdivision, described as follows:
BEGINNING at the SW Corner of Lot 1 of said subdivision; thence East along the S'y line of said Lot 1 and W 1/2 of Lot 2, 65 feet; thence S 20 feet to the N'y line of Lot 31; thence W'y along the N'y line of Lot 31 to the NW Corner thereof; thence N15°30'W 20.5 feet to the Place of Beginning.
 Also a parcel of land described as follows:
BEGINNING at the SE Corner of said Lot 3; thence S 20 feet; thence West 81 feet; thence N 20 feet; thence East 81 feet to the Place of Beginning.
 Parcel ID: 4718-31-201-004
 Also known as: 600 E. Main Street, Brighton, 48116



LOCATION MAP
NOT TO SCALE

SHEET INDEX

- EX** EXISTING CONDITIONS AND DEMOLITION PLAN
- SP** SITE PLAN
- GR1** GRADING AND PAVING PLAN
- GR2** RETAINING WALL PLAN, NOTES AND DETAILS
- SE** SOIL EROSION CONTROL PLAN, NOTES AND DETAILS
- LT** LIGHTING PLAN
- DT** SITE DEVELOPMENT NOTES & DETAILS
- L-1** LANDSCAPE PLAN

OWNER
LYNCH AND SONS FUNERAL DIRECTORS
600 EAST MAIN STREET
BRIGHTON, MI. 48116
(810) 229-2905

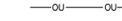
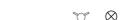
CIVIL ENGINEER/LAND SURVEYOR
DESINE INC.
2183 PLESS DRIVE
BRIGHTON, MI. 48114
(810) 227-9533

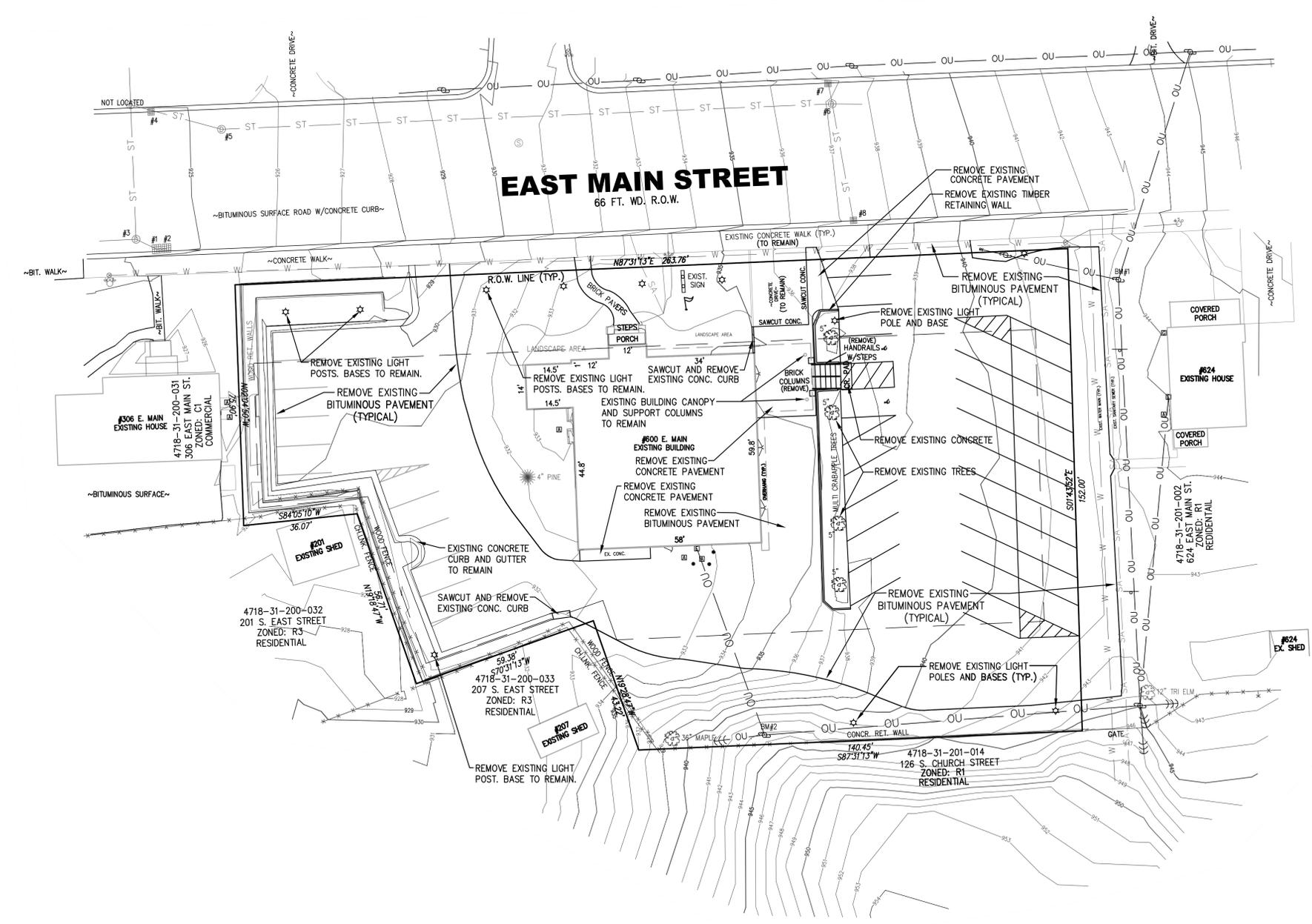
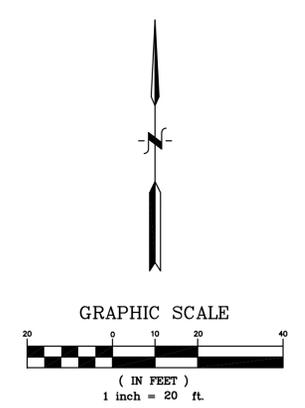


(810) 227-9533
 CIVIL ENGINEERS
 LAND SURVEYORS
 2183 PLESS DRIVE
 BRIGHTON, MICHIGAN 48114

REVISED	SCALE: NA
	PROJECT No.: 9152704
	DWG NAME: 2704-COV
	PRINT: MAR. 25, 2016

LEGEND

-  EXISTING BRUSH/TREE LINE
-  EXISTING OVERHEAD WIRES
-  EXISTING POLE AND GUY
-  EXISTING POWER POLE
-  EXISTING AMERITECH RISER
-  EXISTING LIGHT POLE
-  EXISTING SIGNS
-  EXISTING CONTOURS
-  EXISTING CURB AND GUTTER
-  EXISTING FENCE LINE
-  EXISTING GAS LINE
-  EXISTING STORM SEWER
-  EXISTING STORM STRUCTURES
-  EXISTING SANITARY SEWER
-  EXISTING SANITARY MANHOLE
-  EXISTING SANITARY CLEANOUT
-  EXISTING WATER MAIN
-  EXISTING WATER MAIN STRUCTURES
-  EXISTING SPOT ELEVATION



- DEMOLITION NOTES:**
1. The demolition specifications of the Local Municipality are a part of this work. Refer to the General Notes on the project plans for additional requirements.
 2. Contractor shall contact the 811 Underground Public Utility Locating System or other appropriate local underground utility locating Agency, a minimum of three (3) working days prior to performing demolition work. Existing utility information on the project plans may be from information disclosed to this firm by the Utility Companies, Local, County or State Agencies, and/or various other sources. No guarantee is given as to the completeness or accuracy thereof. Prior to construction, locations and depths of all existing utilities (in possible conflict with the proposed improvements) shall be verified in the field.
 3. Contractor shall contact the appropriate Agencies to coordinate disconnect of the electric, gas, phone, cable and other public utilities as necessary prior to performing demolition work.
 4. Contractor shall contact the appropriate Agencies to coordinate removal and/or relocation of any underground and/or overhead public utility lines as necessary prior to performing demolition work.
 5. Contractor shall recycle and/or dispose of all demolition debris in accordance with the appropriate Local, County, State and Federal regulations.
 6. All bituminous and concrete pavement to be removed shall be saw cut at the limits of removal to provide for a clean straight edge for future abutment.
 7. All existing irrigation lines to be removed shall be terminated at the limits of demolition or as necessary to allow for construction of the proposed site improvements. Ends of pipe shall be capped and the location of marked for future connection.
 8. All existing water main and sanitary sewer to be removed shall be terminated at the limits of demolition or as indicated on the project plans. Temporary plugs shall be installed in the ends of pipe in accordance with the appropriate Agency and the locations of marked for future connection. Permanent plugs shall be installed in the ends of pipe in accordance with the appropriate Agency. The Contractor shall record the location of all permanent plugs and provide the location information to the appropriate Agency.
 9. All existing storm sewer to be removed shall be terminated at the limits of demolition or as indicated on the project plans. Temporary plugs shall be installed in the ends of pipe in accordance with the appropriate Agency and the locations of marked for future connection. Permanent bulkheads shall be installed in the ends of pipe and/or openings in terminating structures in accordance with the appropriate Agency. The Contractor shall record the location of all permanent bulkheads and provide the location information to the appropriate Agency.
 10. All existing light sources to be removed shall have their power cables removed up to the power source or properly terminated for future connection at the limits of demolition or as necessary to allow for construction of the proposed site improvements. Removal and termination of power cables shall be performed in accordance with local electric codes.
 11. All existing utility meters to be removed shall be properly removed to allow for reuse. Any existing utility meters that are not to be reused as a part of this project shall be returned to the appropriate Agency.
 12. All trenches and/or excavations resulting from the demolition of underground utilities, building foundations, etc., that are located within the 1 on 1 influence zone of proposed structures, paved areas and/or other areas subject to vehicular traffic shall be backfilled with MDOT Class III granular material (or better) to the proposed subgrade elevation. Backfill shall be placed using the controlled density method (12" maximum lifts, compacted to 95% maximum unit weight, modified proctor).

BENCHMARKS

- DATUM DERIVED FROM GPS OBSERVATIONS ON 09/15/15
- BENCHMARK #1
SPIKE IN SIDE OF UTILITY POLE, LOCATED NEAR THE NE CORNER OF VACATED ALLEY, 16± FEET WEST OF #600 MAIN ST.
ELEVATION = 944.52 (NAVD 88)
- BENCHMARK #2
SPIKE IN SIDE OF UTILITY POLE, LOCATED NORTH OF SOUTH LINE OF VACATED ALLEY AND 39± FEET EAST OF SW CORNER OF #600 MAIN.
ELEVATION = 944.70 (NAVD 88)

DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.						
CHECK: WMP						

LYNCH & SONS
Funeral Directors

EXISTING
CONDITIONS
PLAN

CLIENT:
LYNCH & SONS
600 E. MAIN ST.
BRIGHTON, MI. 48116
(810) 229-2905

SCALE: 1"=20'
PROJECT No.: 9152704
DWG NAME: 2704-EX
ISSUED: **MAR. 25, 2016**

EX

EAST MAIN STREET (PUBLIC)
(66 FT. WD. R.O.W.)

LEGEND

	EXISTING BRUSH/TREE LINE
	EXISTING OVERHEAD WIRES
	EXISTING POLE AND GUY
	EXISTING POWER POLE
	EXISTING AMERITECH RISER
	EXISTING LIGHT POLE
	EXISTING SIGNS
	EXISTING CONTOURS
	EXISTING CURB AND GUTTER
	EXISTING FENCE LINE
	EXISTING GAS LINE
	EXISTING STORM SEWER
	EXISTING STORM STRUCTURES
	EXISTING SANITARY SEWER
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY CLEANOUT
	EXISTING WATER MAIN
	EXISTING WATER MAIN STRUCTURES
	EXISTING SPOT ELEVATION
	PROPOSED CURB & GUTTER
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT

SITE DATA:

PROJECT AREA: 0.79 ac.
CURRENT ZONING: R1 SINGLE FAMILY RESIDENTIAL
PROPOSED USE: FUNERAL HOME

	PROPOSED	REQUIRED
LOT COVERAGE:	11.0%	25%
SETBACKS: FRONT	24.3'	25 FT.
SIDE	22.6'	5 FT.
REAR	63.6'	35 FT.

GROUND FLOOR AREA: 3,720 sq.ft.
PERCENT OF LOT COVERAGE OF BUILDINGS: 11%
IMPERVIOUS AREA: 23,300 SQ. FT. = 67.7%

PARKING REQUIREMENTS:
FUNERAL HOME:
1 SPACE PER 150 SQ. FT. GFA
3,720 SQ. FT. / 150 = 25 SPACES

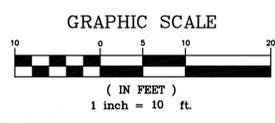
PROVIDED PARKING: = 41 SPACES
BARRIER FREE PARKING: = 2 SPACES

NOTES:
ALL WASTE SHALL BE STORED INSIDE OF EXISTING BUILDING.

BENCHMARKS
DATUM DERIVED FROM GPS OBSERVATIONS ON 09/15/15

BENCHMARK #1
SPIKE IN SIDE OF UTILITY POLE, LOCATED NEAR THE NE CORNER OF VACATED ALLEY, 16± FEET WEST OF #600 MAIN ST.
ELEVATION = 944.52 (NAVD 88)

BENCHMARK #2
SPIKE IN SIDE OF UTILITY POLE, LOCATED NORTH OF SOUTH LINE OF VACATED ALLEY AND 39± FEET EAST OF SW CORNER OF #600 MAIN.
ELEVATION = 944.70 (NAVD 88)



DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.						
CHECK: WMP						

LYNCH & SONS
Funeral Directors

SITE PLAN

CLIENT:
LYNCH & SONS
600 E. MAIN ST.
BRIGHTON, MI. 48116
(810) 229-2905

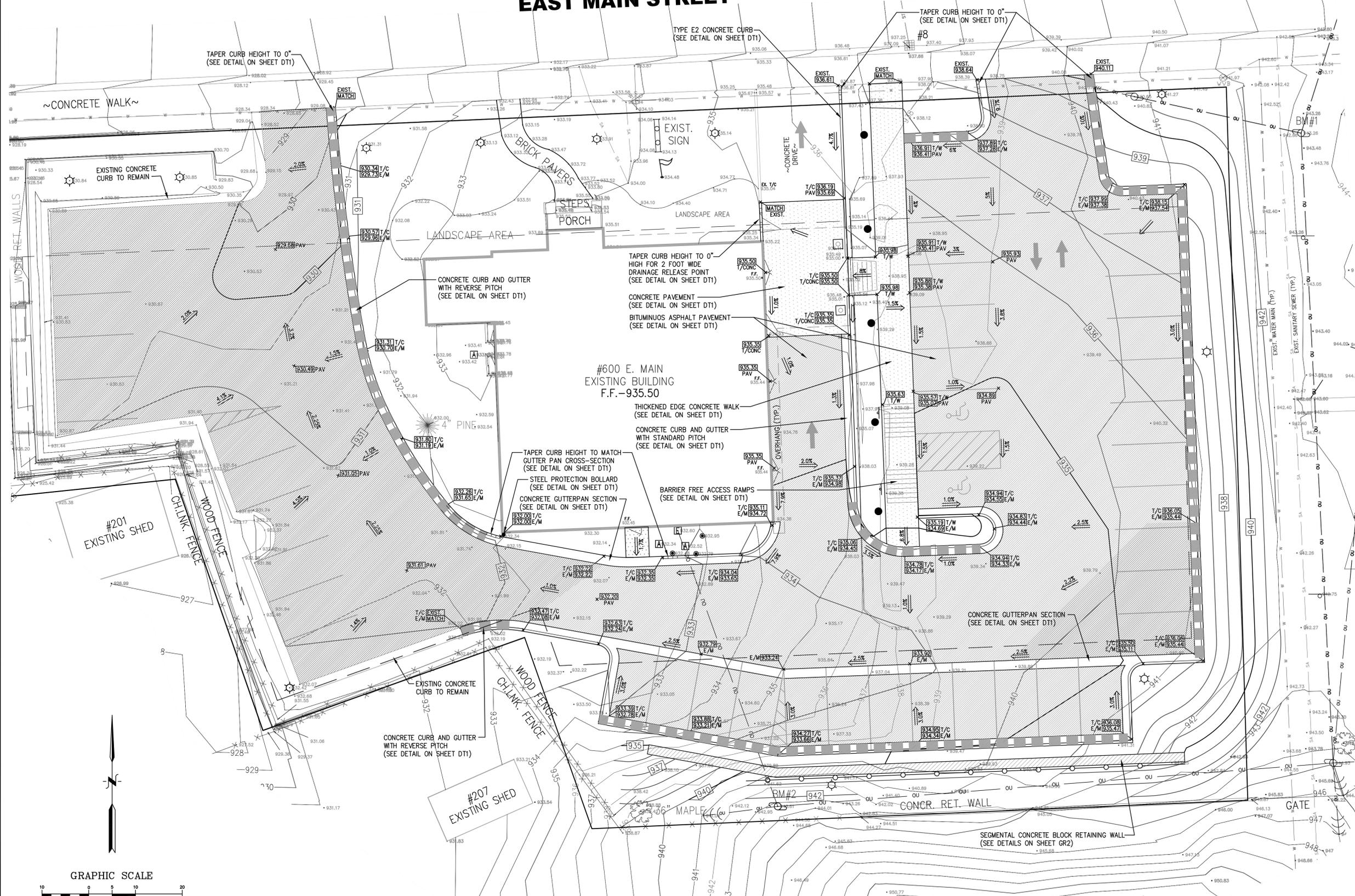
SCALE: 1"=10'
PROJECT No.: 9152704
DWG NAME: 2704-SITEPLAN
ISSUED: **MAR. 25, 2016**

SP

EAST MAIN STREET

LEGEND

-  EXISTING BRUSH/TREE LINE
-  EXISTING OVERHEAD WIRES
-  EXISTING POLE AND GUY
-  EXISTING POWER POLE
-  EXISTING AMERTECH RISER
-  EXISTING LIGHT POLE
-  EXISTING SIGNS
-  EXISTING CONTOURS
-  EXISTING CURB AND GUTTER
-  EXISTING FENCE LINE
-  EXISTING GAS LINE
-  EXISTING STORM SEWER
-  EXISTING STORM STRUCTURES
-  EXISTING SANITARY SEWER
-  EXISTING SANITARY MANHOLE
-  EXISTING SANITARY CLEANOUT
-  EXISTING WATER MAIN
-  EXISTING WATER MAIN STRUCTURES
-  EXISTING SPOT ELEVATION
-  PROPOSED CURB & GUTTER W/STD. PITCH
-  PROPOSED CURB & GUTTER W/REV. PITCH
-  PROPOSED ASPHALT PAVEMENT
-  PROPOSED CONCRETE PAVEMENT
-  PROPOSED SPOT ELEVATION
-  PROPOSED FLOW ARROW

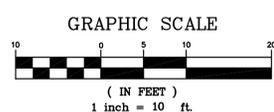


BENCHMARKS

DATUM DERIVED FROM GPS OBSERVATIONS ON 09/15/15

BENCHMARK #1
SPIKE IN SIDE OF UTILITY POLE, LOCATED NEAR THE NE CORNER OF VACATED ALLEY, 16± FEET WEST OF #600 MAIN ST.
ELEVATION = 944.52 (NAVD 88)

BENCHMARK #2
SPIKE IN SIDE OF UTILITY POLE, LOCATED NORTH OF SOUTH LINE OF VACATED ALLEY AND 39± FEET EAST OF SW CORNER OF #600 MAIN.
ELEVATION = 944.70 (NAVD 88)



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DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.						
CHECK: WMP						

LYNCH & SONS
Funeral Directors

GRADING AND PAVING PLAN

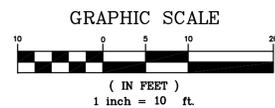
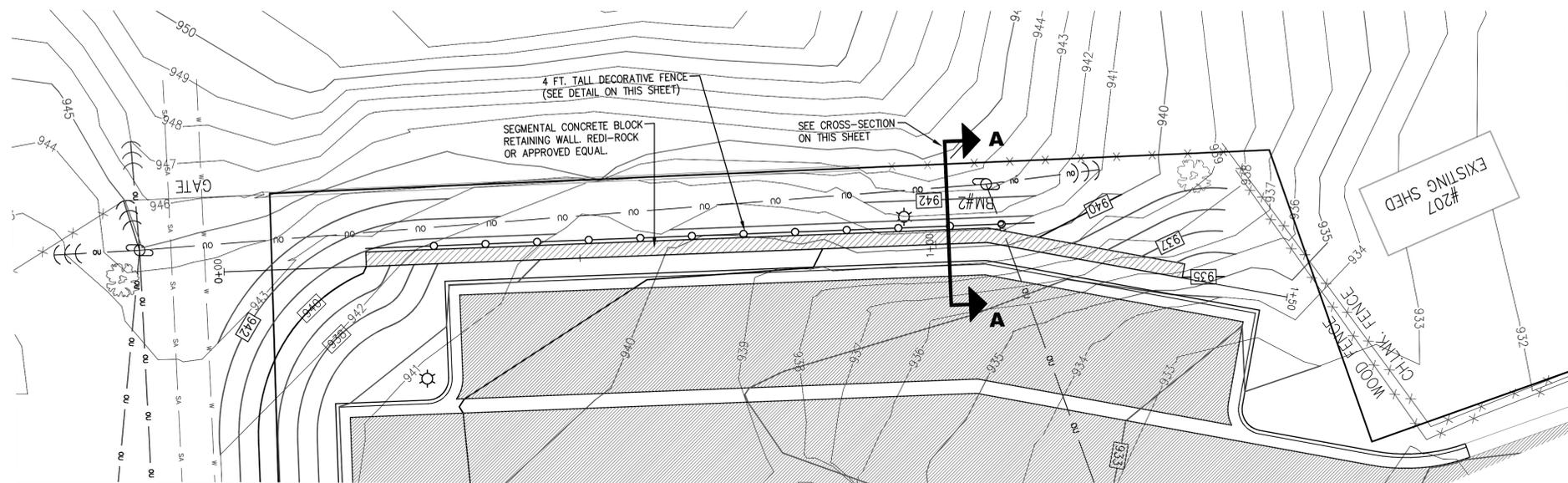
CLIENT: LYNCH & SONS
600 E. MAIN ST.
BRIGHTON, MI. 48116
(810) 229-2905

SCALE: 1"=10'
PROJECT No.: 9152704
DWG NAME: 2704-GRD
ISSUED: MAR. 25, 2016

GR1

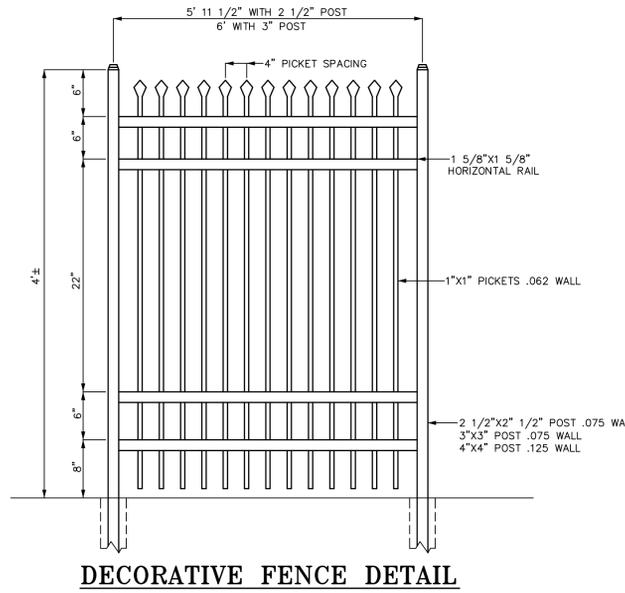
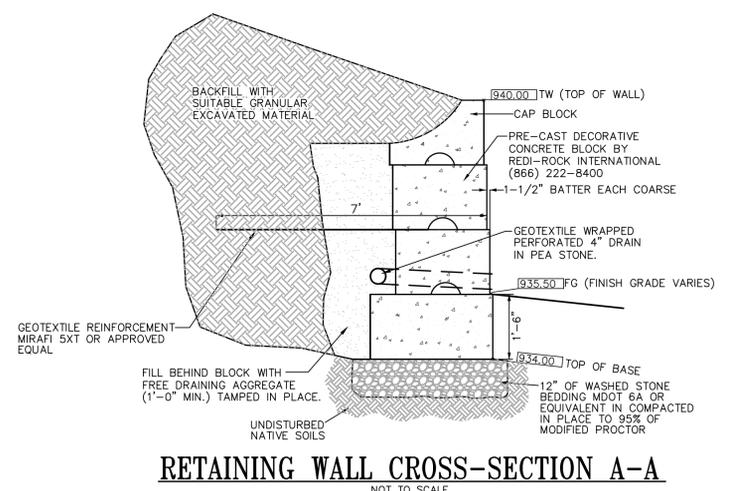
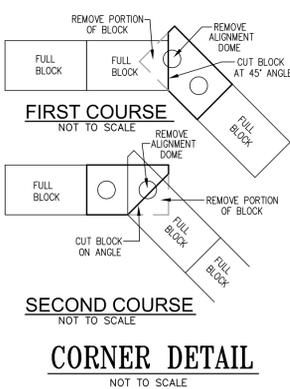
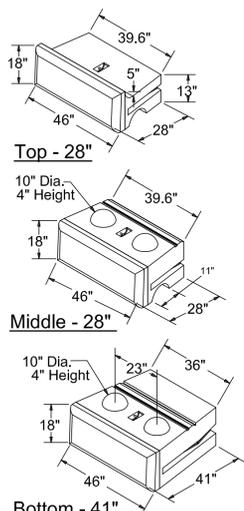
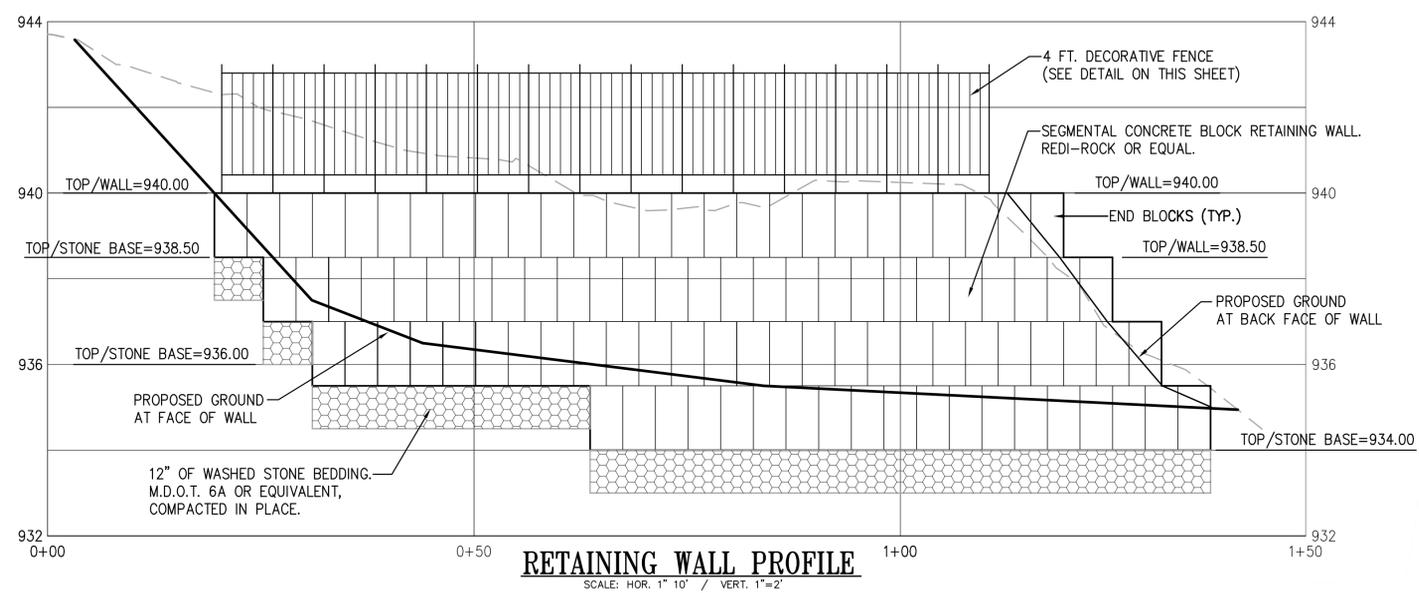
LEGEND

	EXISTING BRUSH/TREE LINE
	EXISTING OVERHEAD WIRES
	EXISTING POLE AND GUY
	EXISTING POWER POLE
	EXISTING AMERITECH RISER
	EXISTING LIGHT POLE
	EXISTING SIGNS
	EXISTING CONTOURS
	EXISTING CURB AND GUTTER
	EXISTING FENCE LINE
	EXISTING GAS LINE
	EXISTING STORM SEWER
	EXISTING STORM STRUCTURES
	EXISTING SANITARY SEWER
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY CLEANOUT
	EXISTING WATER MAIN
	EXISTING WATER MAIN STRUCTURES
	EXISTING SPOT ELEVATION
	PROPOSED STORM SEWER
	PROPOSED STORM STRUCTURES
	PROPOSED CURB & GUTTER
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT



SEGMENTAL RETAINING WALL NOTES

- Wall Units
 - Wall units shall be Redi-Rock™ as produced by a licensed manufacturer.
 - Wall units must meet or exceed Redi-Rock™ minimum specifications. All material used in the wall units, steps, and pavers must meet applicable ASTM and local requirements for exterior concrete. (ASTM Standard Specifications for Segmental Retaining Wall Units, concrete specifications ASTM C-94 & ACI 301-99 latest additions apply)
 - Exterior block dimensions shall be uniform and consistent. Maximum dimensional deviations shall be 0.50 inch or 2%, whichever is less, not including textured face.
 - Exposed face shall be finished as specified. Other surfaces to be smooth form type. Dime-size bug holes on the block face may be patched and/or shake-on color stain can be used to blend into the remainder of the block face.
- Delivery, Storage and Handling
 - Contractor shall check the materials upon delivery to assure proper material has been received.
 - Contractor shall prevent excessive mud, wet cement and like materials from coming in contact with the SRW units.
 - Contractor shall protect the materials from damage. Damaged material shall not be incorporated in the project.
- Leveling Pad and Free Draining Backfill
 - Leveling Pad shall be washed stone or compacted gravel. See construction drawings for specifications.
 - Free Draining Backfill material shall be granular, well draining sand or stone and shall be placed to a minimum of 1-foot of depth behind the back of the wall and shall extend vertically from the Leveling Pad to an elevation 4-inches below the top of the wall. See construction drawings for specifications.
 - Backfill material shall be in accordance with the construction drawings. Site excavated spoils may be used if approved unless otherwise specified on the construction drawings. Unsuitable soils with a P1-6, organic soils and frost susceptible soils shall not be used within a 1 to 1 influence area.
 - Non-woven geotextile cloth shall be placed between the Free Draining Backfill and retained soil when noted on the construction drawings.
 - Where additional fill is needed, Contractor shall submit sample and specifications to the Engineer for approval.
- Drainage
 - Internal and external drainage shall be provided in accordance with the construction drawings.
- Geogrid
 - Geogrid connection bar to be epoxy coated rebar, 1/2-inch in diameter cut 3-foot 4-inches long.
 - Geogrid fabric to be Mirafi Miragrid or equivalent. See construction drawings for specifications.
 - Geogrid fabric shall be installed in accordance with the construction drawings and the SRW unit manufacturer's specifications.
- Excavation
 - Contractor shall excavate to the lines and grades shown on the construction drawings.
- Foundation Soil Preparation
 - Native foundation soil shall be compacted to 95% of standard proctor or 90% of modified proctor prior to placement of the Leveling Pad material.
 - In-situ foundation soil shall be examined by the Testing Engineer to ensure that the actual foundation soil strength meets or exceeds assumed design strength. Soil not meeting required strength shall be removed and replaced as directed by the Testing Engineer.
- Leveling Pad Placement
 - Leveling Pad shall be placed as shown on the construction drawings.
 - Leveling Pad shall be placed on undisturbed native soils or suitable replacement fill material as acceptable to the Engineer.
 - Leveling Pad shall be compacted to 95% of standard proctor or 90% of modified proctor to ensure a level, hard surface on which to place the first course of blocks. Pad shall be constructed to the proper elevation to ensure the final elevation shown on the plans. Well-graded sand may be used to smooth the top 1/2-inch on the Leveling Pad (when using gravel pad only).
 - Leveling Pad shall have a 6-inch minimum depth for walls under 8-feet in height and a 12-inch minimum depth for walls over 8-feet. See construction drawings for additional specifications. Pad dimensions shall extend beyond the blocks in all directions to a distance at least equal to the depth of the pad unless otherwise specified on the construction drawings.
 - For steps and pavers, a minimum of 1-inch to 1 1/2-inches of free draining sand shall be screeded smooth to act as a placement bed for the steps or pavers.
- Unit Installation
 - The first course of wall units shall be placed on the prepared Leveling Pad with aesthetic surface facing out and the front edge tight together. All units shall be checked for level and alignment as they are placed.
 - Ensure that units are in full contact with Leveling Pad. Proper care shall be taken to develop straight lines and smooth curves on base course as per wall layout.
 - The backfill in front and back of entire base row shall be placed and compacted to firmly lock them in place. Check all units again for level and alignment. All excess material shall be swept from top of units.
 - Install next course of wall units on top of base row. Position blocks to be offset from seams of blocks below. Blocks shall be placed fully forward so knob and groove are engaged. Check each block for proper alignment and level. Backfill to 12-inch depth behind block with Free Draining Backfill Spread backfill in uniform lifts not exceeding 8-inches. Employ methods using lightweight compaction equipment that will not disrupt the stability or batter of the wall. Hand-operated plate compaction equipment shall be used around the block and within 3-feet of the wall to achieve consolidation. Compact backfill to 95% of standard proctor (ASTM D 698, AASHTO T-99) density within 2% of its optimum moisture content.
 - Install each subsequent course in like manner. Repeat procedure to the extent of wall height.
 - Allowable construction tolerance is 2-degrees vertically and 1-inch in 10-foot horizontally.
 - All walls shall be installed in accordance with local building codes and requirements.



BENCHMARKS

DATUM DERIVED FROM GPS OBSERVATIONS ON 09/15/15

BENCHMARK #1
SPIKE IN SIDE OF UTILITY POLE, LOCATED NEAR THE NE CORNER OF VACATED ALLEY, 164 FEET WEST OF #600 MAIN ST.
ELEVATION = 944.52 (NAVD 88)

BENCHMARK #2
SPIKE IN SIDE OF UTILITY POLE, LOCATED NORTH OF SOUTH LINE OF VACATED ALLEY AND 394 FEET EAST OF SW CORNER OF #600 MAIN.
ELEVATION = 944.70 (NAVD 88)

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DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.						
CHECK: WMP						

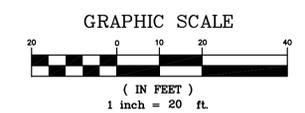
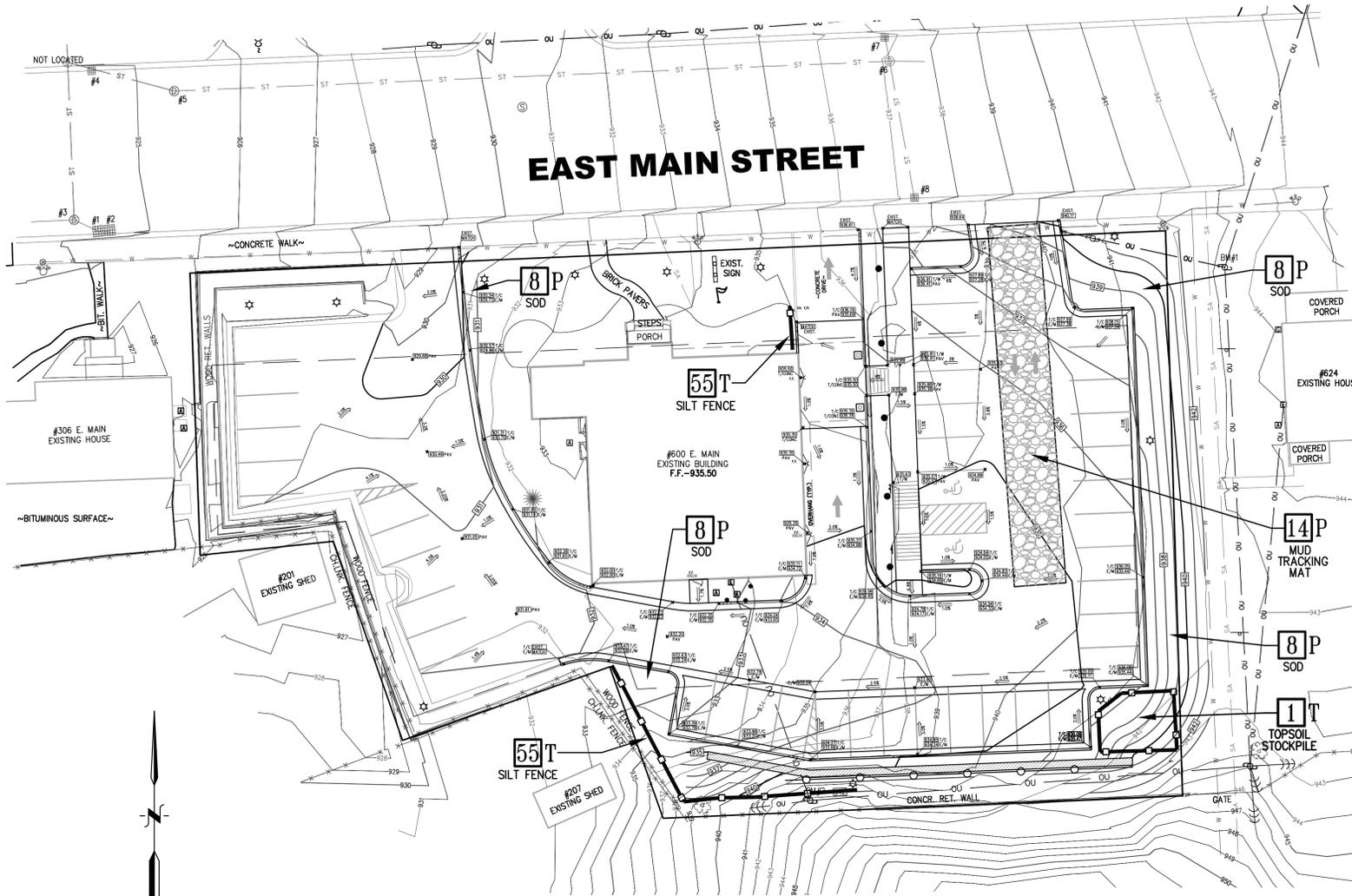
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RETAINING WALL PLAN,
PROFILE, NOTES
AND DETAILS

CLIENT:
LYNCH & SONS
600 E. MAIN ST.
BRIGHTON, MI. 48116
(810) 229-2905

SCALE: 1"=10'
PROJECT NO.: 9152704
DWG NAME: 2704-WALL
ISSUED: MAR. 25, 2016

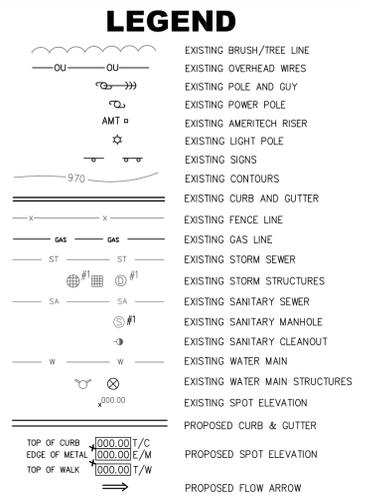
GR2



BENCHMARKS
 DATUM DERIVED FROM GPS OBSERVATIONS ON 09/15/15

BENCHMARK #1
 SPIKE IN SIDE OF UTILITY POLE, LOCATED NEAR THE NE CORNER OF VACATED ALLEY, 16± FEET WEST OF #600 MAIN ST. ELEVATION = 944.52 (NAVD 88)

BENCHMARK #2
 SPIKE IN SIDE OF UTILITY POLE, LOCATED NORTH OF SOUTH LINE OF VACATED ALLEY AND 39± FEET EAST OF SW CORNER OF #600 MAIN. ELEVATION = 944.70 (NAVD 88)

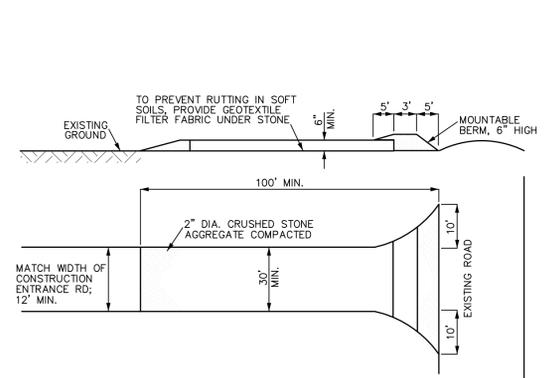


SOILS MAP
NOT TO SCALE

SOIL LEGEND
 Bt Boyer-Oakton Loamy Sand
 Sv Spinks-Oakville Loamy Sands

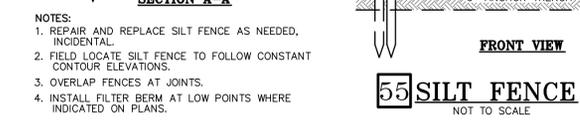
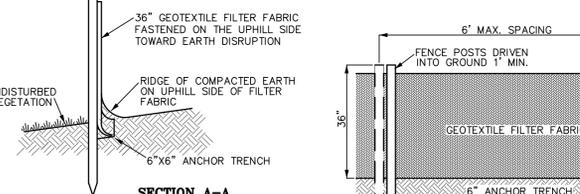
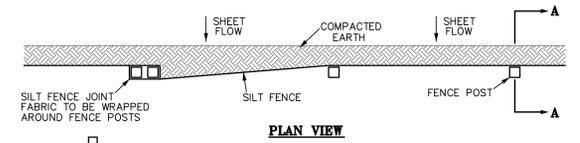
SLOPE LEGEND
 A 0 TO 2 PERCENT SLOPES
 B 2 TO 6 PERCENT SLOPES
 C 6 TO 12 PERCENT SLOPES
 D 12 TO 18 PERCENT SLOPES
 E 18 TO 25 PERCENT SLOPES
 F 25 TO 40 PERCENT SLOPES

- SOIL EROSION AND SEDIMENTATION CONTROL NOTES:**
- The Soil Erosion and Sedimentation Control Specifications of the appropriate Local, County and/or State Agencies are a part of this work. Refer to the General Notes on the Project Plans for additional requirements.
 - The Soil Erosion and Sedimentation Control (SESC) Permit Holder shall be responsible for compliance with the SESC Permit requirements for the duration of the project and until receipt of final approval from the Permitting Agency. For any site with an earth disturbance area of 1 acre or greater, the SESC Permit Holder shall retain a Certified Storm Water Operator in accordance with the SESC permit requirements. The Certified Storm Water Operator shall perform routine inspections of the site and the SESC measures and file inspection reports in accordance with the SESC permit requirements. For any site with an earth disturbance area of 5 acres or greater, the SESC Permit Holder shall file a National Pollutant Discharge Elimination System (NPDES) Notice of Coverage Form with the State DEQ prior to any earth disruption.
 - The Contractor shall install the appropriate Soil Erosion Control Measures in accordance with the Project Plans prior to massive earth disruption, including but not limited to; silt fence, mud tracking control mats and sediment filters on existing storm sewer structures. Demolition work may be necessary prior to installation of some soil erosion control measures. In such cases, postpone installation of affected soil erosion control measures until immediately following demolition work. Refer to the Project Plans and the Soil Erosion Control and Construction Sequence for additional requirements.
 - The Contractor shall schedule work so as to minimize the period of time that an area is exposed and disturbed. The Contractor shall observe the grading limits and limits of disturbance in accordance with the Project Plans. The Contractor shall maintain an undisturbed vegetative buffer around the work when shown on the Project Plans.
 - The Contractor shall install and maintain Soil Erosion Control Measures in accordance with the Project Plans during the appropriate phases of construction. The Project Plans show the minimum requirements for Soil Erosion Control Measures. The Contractor shall install additional Soil Erosion Control Measures as necessary due to site conditions and as directed by the Permitting Agency and/or Engineer. The Contractor shall perform routine inspection and maintenance of all Soil Erosion Control Measures to ensure compliance with the permit requirements and proper operation of the Soil Erosion Control Measures.
 - The Contractor shall strip and stockpile topsoil from all areas of proposed disturbance. Topsoil stockpiles shall be located in accordance with the Project Plans. Topsoil stockpiles shall be stabilized with vegetative growth (or matted with straw during the non-growing season) to prevent wind and water erosion. A temporary diversion berm and/or silt fence shall encompass all earthen material stockpiles, including but not limited to topsoil, sand and gravel.
 - The Contractor shall install Soil Erosion Control Measures associated with the proposed storm sewer system during storm sewer construction. Inlet structure filters shall be installed immediately following completion of each storm inlet structure. Riprap shall be installed immediately following the installation of each flared end section with the following exception: Storm drain outlets that do NOT empty into a Retention, Detention or Sedimentation Basin shall have a temporary 5' wide x 10' long x 3' deep sump installed at the termination of the storm sewer. Upon completion of the stabilization work, the sump area shall be filled and riprap shall be installed in accordance with the Project Plans.
 - The Contractor shall install filter stone around the storm basin control structure(s) in accordance with the Project Plans immediately following installation of the control structure(s). The filter stone shall be monitored for sediment build up. The filter stone may need to be cleaned and/or replaced as site conditions require and as directed by the Permitting Agency and/or the Engineer.
 - All disturbed areas outside of paved areas shall be restored within 15 days of finish grading. Proposed vegetative areas shall be restored with a minimum of 3-inches of topsoil, then seeded and mulched; unless noted otherwise on the Project Plans. During the non-growing season, temporary stabilization shall be provided using straw matting or as directed by the Permitting Agency and/or the Engineer.
 - Following complete site restoration and stabilization; sediment shall be removed from all storm sewer structures, paved areas and storm basins. The SESC Permit Holder shall contact the Permitting Agency to request closure of the SESC Permit. For any site with an earth disturbance area of 5 acres or greater, the SESC Permit Holder shall file a NPDES Notice of Termination Form with the State DEQ.



14 MUD TRACKING CONTROL DEVICE
NOT TO SCALE

NOTE: WHEN ACCEPTABLE TO ENGINEER, CONTRACTOR MAY INSTALL STONE BELOW THE SUBGRADE ELEVATION; THUS STONE MAY BE LEFT IN PLACE BELOW PAVEMENT.



55 SILT FENCE
NOT TO SCALE

- NOTES:**
- REPAIR AND REPLACE SILT FENCE AS NEEDED, INCIDENTAL.
 - FIELD LOCATE SILT FENCE TO FOLLOW CONSTANT CONTOUR ELEVATIONS.
 - OVERLAP FENCES AT JOINTS.
 - INSTALL FILTER BERM AT LOW POINTS WHERE INDICATED ON PLANS.

SOIL EROSION LEGEND

1	STRIPPING & STOCKPILING TOPSOIL	TOPSOIL MAY BE STOCKPILED ABOVE BORROW AREAS TO ACT AS A DIVERSION STOCKPILE. SHOULD BE TEMPORARILY SEEDED.
8	SODDING	PROVIDES IMMEDIATE PROTECTION CAN BE USED ON STEEP SLOPES WHERE SEED MAY BE DIFFICULT TO ESTABLISH EASY TO PLACE, MAY BE REPAIRED IF DAMAGED SHOULD INCLUDE PREPARED TOPSOIL BED
14	AGGREGATE COVER	STABILIZES SOIL SURFACE, THUS MINIMIZING EROSION PERMITS CONSTRUCTION TRAFFIC IN ADVERSE WEATHER MAY BE USED AS PART OF PERMANENT BASE CONSTRUCTION OF PAVED AREAS
55	GEOTEXTILE SILT FENCE	USES GEOTEXTILE AND POSTS OR POLES MAY BE CONSTRUCTED OR PREPACKAGED EASY TO CONSTRUCT AND LOCATE AS NECESSARY

36" SILT FENCE
 P = PERMANENT
 T = TEMPORARY

DISTURBED AREA = 0.56 AC.

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DRAFT: L.F.						
CHECK: WMP						

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SOIL EROSION CONTROL PLAN, NOTES AND DETAILS

CLIENT: LYNCH & SONS
 600 E. MAIN ST. BRIGHTON, MI. 48116
 (810) 229-2905

SCALE: 1"=20'
 PROJECT No.: 9152704
 DWG NAME: 2704-ERSN
 ISSUED: MAR. 25, 2016

SE

OceanWalk - Square LED

Project Name: _____ Catalog Number: _____ Type: _____

Dimensional Drawings

Fixture	A	B	Max. LEDs	Lbs
OWK-3	8"	36" or 42"	20	38

Options

Model	Size	Optics	Source	Milliamps	Kelvin	Voltage	Mounting	Finish	Options
OWK-3	8" Square (8538)	Paracaine Reflector (PR)	350 (3)	4000K (4K)	120-277 (UNV)	Arm Mount (AM)	Bronze (BZ)	Photocell & Receptacle (PCR120) (PCR208) (PCR240) (PCR277)	Internal Light Shield (LS)
	42" (8542)	Stack Lower Reflector (SLR)	530 (5)	5500K (5K)	120-277 (UNV)	Wall Mount (WM)	Black (BK)	Photo Receptacle (PER)	Vandal-Resistant Base (VRB)
		Type V Glass Reflector (GRS)	700 (7)	5500K (5K)	120-277 (UNV)	Wall Mount (WM)	White (WH)	Button Type Photocell (PC120) (PC208) (PC240) (PC277)	
		45° Cutoff Grill (COG)					Forest Green (FG)	Round Pole Plate Adaptor For 4" Pole (RPP4) For 5" Pole (RPP5) Cast Wall Plate (BAWP)	
							Grey (GY)	0-10V Dimming Driver (DIM)	
							Silver Metallic (SL)	Motion Sensor (MS)	
							Custom Color (CC)		

VISIONAIRE LIGHTING

TYPE "A"

Polera LX LED

Project Name: _____ Catalog Number: _____ Type: _____

Dimensional Drawings

Fixture	A	B	C	D	Max. Watts	Lbs
PLX-1	19"	25 3/4"	11"	41 1/2"	238W	53

Options

Model	Optics	Source	Current	Kelvin	Voltage	Mounting	Finish	Options
PLX-1-L	Type II (T2)	72 (72LC)	350 (3)	4000K (4K)	120-277 (UNV)	Arm Mount (AM)	Bronze (BZ)	Photocell & Receptacle (PCR120) (PCR208) (PCR240) (PCR277)
	Type III (T3)	144 (144LC)	530 (5)	5000K (5K)	120-277 (UNV)	Wall Mount (WM)	Black (BK)	Photo Receptacle (PER)
	Type IV (T4)				347 (8)	Wall Mount (WM)	White (WH)	Button Type Photocell (PC120) (PC208) (PC240) (PC277)
	Type IV-A (T4A)					Wall Mount (WM)	Grey (GY)	House Side Light Shield (LS)
	Type V (T5)					Wall Mount (WM)	Silver Metallic (SL)	Round Pole Plate Adaptor For 4" Pole (RPP4) For 5" Pole (RPP5)
	Type V-W (T5W)					Wall Mount (WM)	Custom Color (CC)	Cast Wall Plate (BAWP)

VISIONAIRE LIGHTING

TYPE "B"

Oden LED

Project Name: _____ Catalog Number: _____ Type: _____

Dimensional Drawings

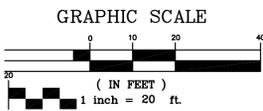
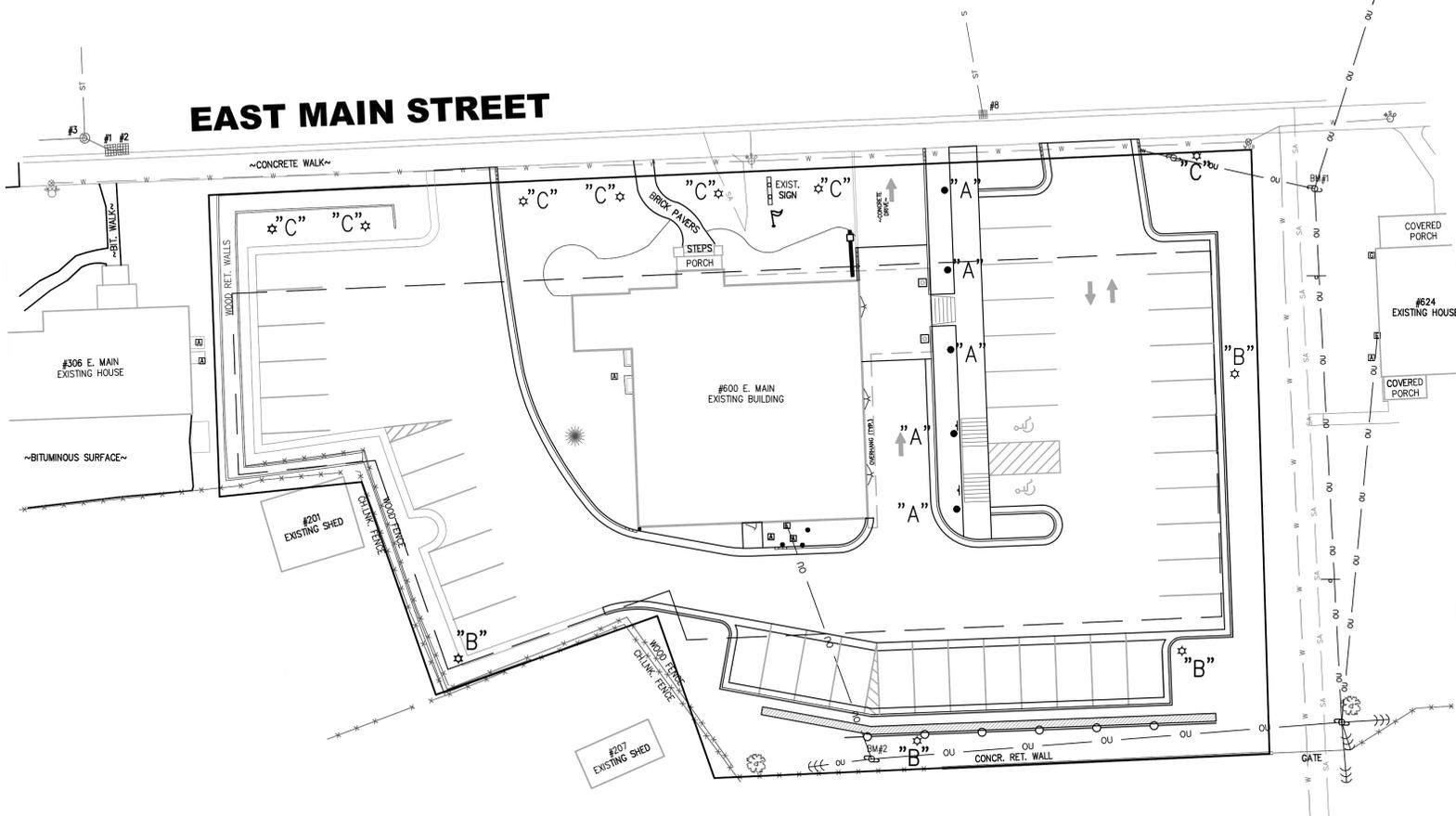
Fixture	A	B	Max. LEDs	Lbs
ODN-2-L	25"	22 1/2"	84	53
ODN-3-L	30"	24"	84	74

Options

Model	Optics	Source	Milliamps	Kelvin	Voltage	Mounting	Finish	Cap/Shade	Options
ODN-2-L	Type I (T1)	42 (42LC)	350 (3)	4000K (4K)	120-277 (UNV)	Yoke Mount (YM)	Bronze (BZ)	C1 (C1)	Button Type Photocell (PCR120) (PCR208) (PCR240) (PCR277)
	Type II (T2)	84 (84LC)	530 (5)	5000K (5K)	120-277 (UNV)	Yoke Mount (YM)	Black (BK)	C2 (C2)	Dual Circuit (DC)
	Type III (T3)	42 (42LC)	480 (8)	5000K (5K)	120-277 (UNV)	Arm Mount Large (AML)	White (WH)	C3 (C3)	Cutoff Louver System (CLS)
	Type IV (T4)	84 (84LC)	347 (8)	5000K (5K)	120-277 (UNV)	Wall Mount (WM)	Sandstone (SN)	C4 (C4)	0-10V Dimming Driver (DIM)
	Type V (T5)					Wall Mount (WM)	Weathered Bronze (WB)	C5 (C5)	Motion Sensor (MS)
	Type V-W (T5W)					Wall Mount (WM)	Silver Metallic (SL)	C6 (C6)	

VISIONAIRE LIGHTING

TYPE "C"



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BRIGHTON, MICHIGAN 48114

DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.						
CHECK: WMP						

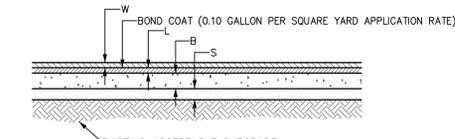
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LIGHTING PLAN

CLIENT: LYNCH & SONS
600 E. MAIN ST.
BRIGHTON, MI. 48116
(810) 229-2905

SCALE: 1"=20'
PROJECT No.: 9152704
DWG NAME: 2704-LTNG
ISSUED: MAR. 25, 2016

LT

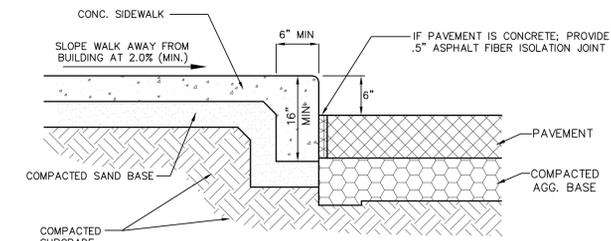


PAVEMENT CROSS SECTION
NOT TO SCALE

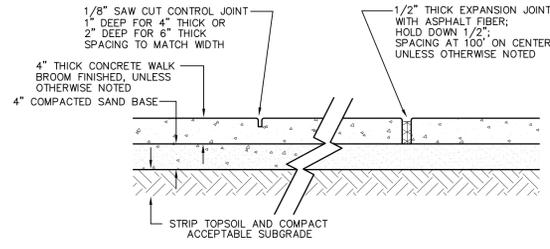
KEY	DESCRIPTION	MATERIAL SPECIFICATION	MINIMUM COMPACTED THICKNESS
W	WEARING COURSE	MDOT 36A	1.5"
L	LEVELING COURSE	MDOT 13A	1.5"
B	AGGREGATE BASE	MDOT 21AA LIMESTONE	6.0"
S	GRANULAR SUBBASE	MDOT CLASS II SAND	6.0"

BITUMINOUS PAVEMENT NOTES:

- The construction specifications of the appropriate Local Municipality are a part of this work. Refer to the General Notes, Road and/or Parking Lot Construction Notes and Typical Road and/or Pavement Cross Section details on the project plans for additional requirements.
- Unsuitable soils found within the 1 on 1 influence zone of the pavement, such as muck, peat, topsoil, marl, silt or other unstable materials shall be excavated and replaced up to the proposed subgrade elevation with MDOT Class III granular material compacted to 95% maximum unit weight, modified proctor.
- Contractor shall proof roll prepared subgrade as directed by Engineer. Unacceptable areas of subgrade shall be undercut and replaced as directed by Engineer.
- Owner/Developer may delay placement of the bituminous wearing course outside of the public road right of way. Repair of the bituminous leveling course may be necessary due to any delay in placement of the bituminous wearing course. Substantial repair to the bituminous leveling course may be necessary if placement of the bituminous wearing course is delayed for more than 12 months after placement of the bituminous leveling course. The bituminous leveling course shall be repaired as directed by Engineer prior to placement of the bituminous wearing course.

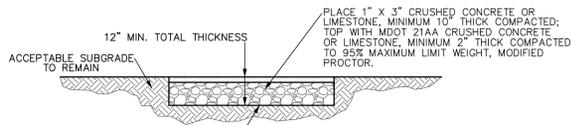


SIDEWALK CURB & ISOLATION JOINT DETAIL
NOT TO SCALE



SIDEWALK CROSS SECTION
NOT TO SCALE

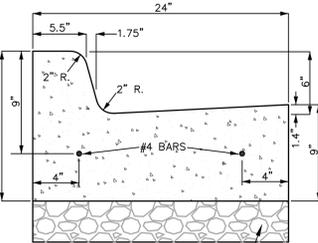
- NOTES:
- SEE PLAN FOR WIDTH OF SIDEWALK.
 - PROVIDE CONCRETE TYPE PER LOCAL CODE. (3500 PSI AIR ENTRAINED)



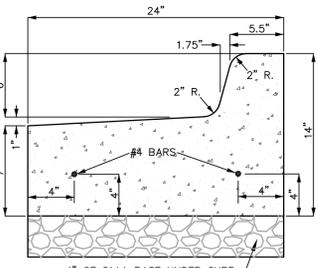
SUBGRADE UNDERCUT AND REPLACEMENT CROSS-SECTION
NOT TO SCALE

- NOTES:
- UNACCEPTABLE AREAS OF SUBGRADE SHALL BE UNDERCUT AND REPLACED AS DIRECTED BY ENGINEER.
 - GEOTEXTILE FABRIC SHALL BE WOVEN, SURVIVABILITY CLASS 1, 0.43mm AOS, 0.10 PERMITTIVITY, AND 50% @ 500 UV STABILIZATION, PER AASHTO M288-96 REQUIREMENTS.

TRAFFIC FLOW ARROW DETAIL
NOT TO SCALE



CONC. CURB DETAIL -MDOT TYPE F
NOT TO SCALE

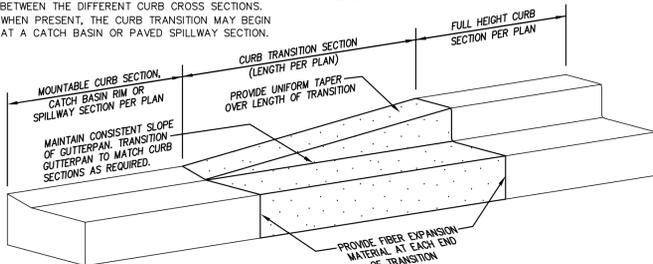


CONC. CURB DETAIL -MDOT TYPE F REVERSE PITCH
NOT TO SCALE

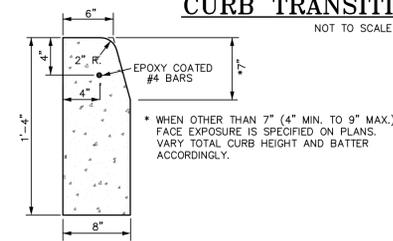
CONCRETE CURB NOTES:

- Refer to the project plans for the proposed locations of the specific curb types.
- The construction specifications of the appropriate Local Municipality are a part of this work. Refer to the General Notes and Curb Cross Section Details on the project plans for additional requirements.
- Extend the base and/or subbase material of the appropriate adjacent pavement cross-section horizontally to 1 foot behind the back of curb. Concrete curb shall be constructed on no less than 6" of combined depth of compacted base/subbase material.
- Concrete material shall meet or exceed the specification requirements of the appropriate Local Municipality. If not specified by the Local Municipality, then the concrete material shall be MDOT P1 (I-A) 6.0 sack concrete pavement mixture with a minimum 28 day design compressive strength of 4,000 PSI and 6.5% (+/-1.5%) entrained air. Contractor shall submit concrete mix design and aggregate mechanical analysis report to the Local Municipality and Engineer for review and approval prior to use.
- Install transverse expansion control joints in accordance with the Local Municipality requirements. If not specified by the Local Municipality, then install transverse expansion control joints in curb with 1" minimum depth at 10' on center. Tool joints in fresh concrete or saw cut within 8 hours.
- Install transverse expansion control joints in accordance with the Local Municipality requirements. If not specified by the Local Municipality, then install transverse expansion control joints in curb as follows: 400' maximum on center, at spring points of intersecting streets and within 10' on each side of catch basins. Transverse expansion control joints shall be 1" thick asphalt fiber joint filler matching entire curb cross-section.
- Provide 1" asphalt fiber control joint between back of curb and all other concrete structures, such as concrete sidewalks and concrete driveways.
- Curb Contractor shall provide final adjustment of catch basin castings in curb line. Castings shall be tucked pointed to structure water tight with concrete or mortar inside and outside of casting.
- Install curb cuts for all existing and proposed sidewalks and pedestrian ramps in accordance with the American Disabilities Act and the Barrier Free Design requirements of the appropriate Local, County and/or State Agency. Refer to MDOT Standard Plan R-28, latest revision. Install curb cuts for all existing and proposed vehicular ramps and drives as noted on the project plans.

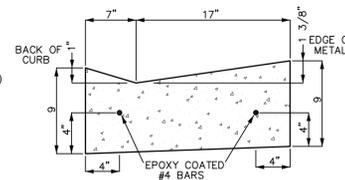
- NOTES:
- CURB TRANSITIONS SHALL BE SMOOTH. PROVIDE SPECIAL FORMING AND LABOR IF NEEDED. CURB TRANSITIONS ARE INCIDENTAL TO CURB WORK.
 - CONTRACTOR SHALL ADJUST THE ELEVATION OF THE TOP OF CURB AS NEEDED TO MAINTAIN THE GUTTER LINE AT A CONSTANT SLOPE BETWEEN THE DIFFERENT CURB CROSS SECTIONS.
 - WHEN PRESENT, THE CURB TRANSITION MAY BEGIN AT A CATCH BASIN OR PAVED SPILLWAY SECTION.



CURB TRANSITION DETAIL
NOT TO SCALE



MDOT TYPE E2 CURB
NOT TO SCALE

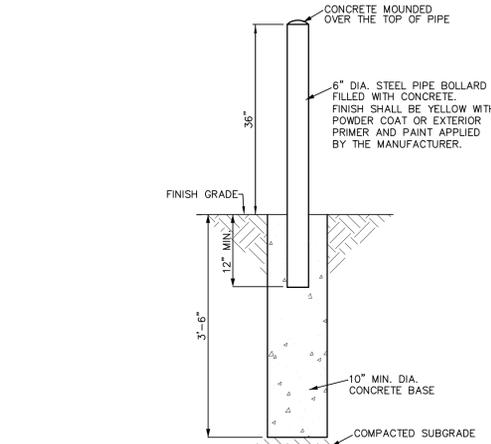


GUTTER PAN DETAIL FOR TYPE F4 CURB
NOT TO SCALE

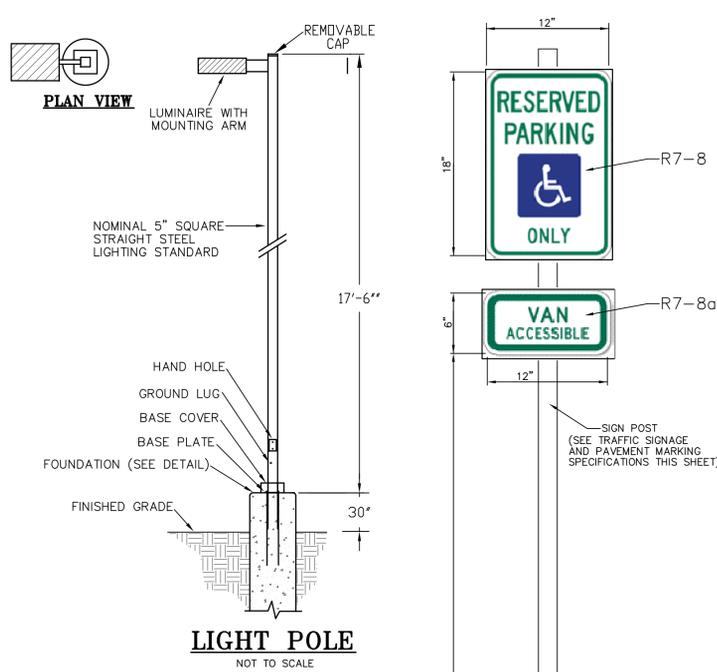
LIGHT POLE BASE DETAIL
NO SCALE

GENERAL PLAN NOTES:

- ALL SITE LIGHTING SHALL BE CONTROLLED VIA PHOTOCELL INITIATED TIMECLOCK SYSTEM. TIMECLOCK SHALL BE LOCATED ADJACENT TO PANEL FOR WHICH SITE LIGHTING BRANCH CIRCUITS ORIGINATE. COORDINATE EXACT LOCATION OF PHOTOCELL IN THE FIELD.
- ALL SITE LIGHTING BRANCH CIRCUITS SHALL UTILIZE DIRECT BURIAL, UNLESS OTHERWISE NOTED BY THESE DRAWINGS.
- CONDUIT SLEEVES SHALL BE PROVIDED FOR ALL BRANCH CIRCUITS AND FEEDERS ROUTED BENEATH PAVED SURFACES/AREAS.
- LOCATIONS AND ROUTING OF ALL ELECTRICAL SITE UTILITIES SHALL BE VERIFIED AND COORDINATED WITH RESPECTIVE UTILITY COMPANY.

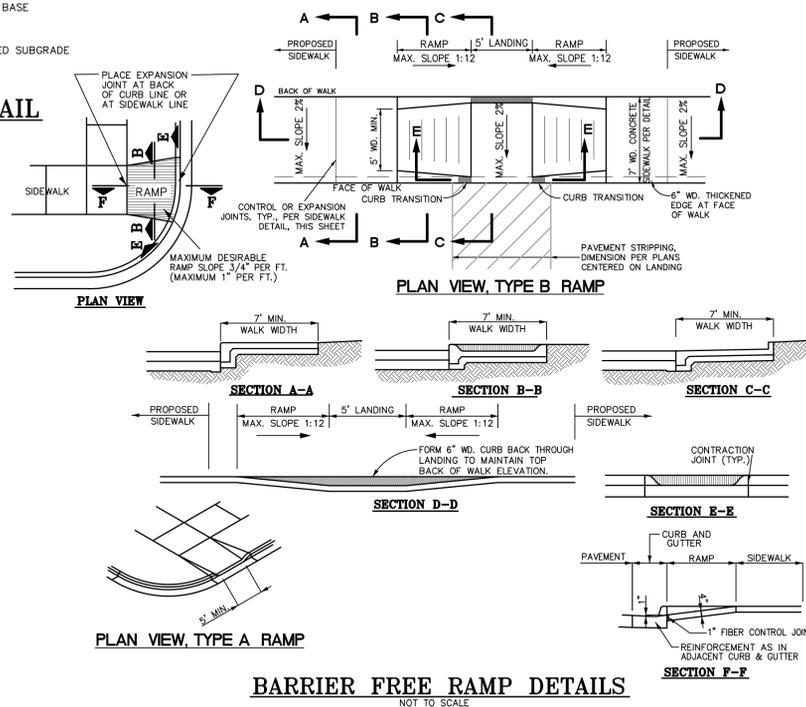
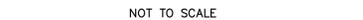


GUARD POST DETAIL
NOT TO SCALE



LIGHT POLE
NOT TO SCALE

BARRIER FREE PARKING SIGN DETAIL
NOT TO SCALE



BARRIER FREE RAMP DETAILS
NOT TO SCALE

GENERAL NOTES:

- Contractor shall perform the work in accordance with the requirements of the appropriate Local, County and State Agencies and all other Government and Regulatory Agencies with jurisdiction over the project. Contractor shall notify the appropriate Agencies in advance of each stage of work in accordance with each Agency's requirements.
- Contractor shall comply with all permit, insurance, licensing and inspection requirements associated with the work. Prior to construction, Contractor and Owner/Developer shall determine who is responsible for obtaining each required permit. Contractor shall verify that the each required permit has been obtained prior to commencement of the stage of work associated with the required permit(s).
- Contractor shall furnish liability insurance and property damage insurance to save harmless the Owner, Developer, Architect, Engineer, Surveyor and Government Agencies for any accident occurring during the construction period. Refer to the appropriate Local, County and State Agencies for additional requirements. Copies of insurance certifications shall be made available to the Owner/Developer.
- Contractor shall conduct and perform work in a safe and competent manner. Contractor shall perform all necessary measures to provide for traffic and pedestrian safety from the start of work and through substantial completion. Contractor shall determine procedures and provide safety equipment such as traffic controls, warning devices, temporary pavement markings and signs as needed. Contractor shall comply with the safety standards of the State Department of Labor, the occupational health standards of the State Department of Health and safety regulations of the appropriate Local, County, State and Federal Agencies. Refer to the safety specifications of the appropriate Regulatory Agencies. The Contractor shall designate a qualified employee with complete job site authority over the work and safety precautions; said designated employee shall be on site at all times during the work.
- Contractor shall coordinate scheduling of all work in the proper sequence, including work by Subcontractors. Additional costs due to improper planning by Contractor or work done out of sequence as determined by standard acceptable construction practices, shall be Contractor's responsibility.
- Contractor shall contact the 811 Underground Public Utility Locating System or other appropriate local underground utility locating Agency, a minimum of three (3) working days prior to construction. Existing utility information on the project plans may be from information disclosed to this firm by the Utility Companies, Local, County or State Agencies, and/or various other sources. No guarantee is given as to the completeness or accuracy thereof. Prior to construction, locations and depths of all existing utilities (in possible conflict with the proposed improvements) shall be verified in the field.
- Contractor shall coordinate scheduling a Pre-Construction Meeting with Engineer prior to commencement of work.
- The Local Municipality, County and/or State in which the project is located may require an Engineer's Certification of construction of the proposed site improvements. Contractor shall verify the certification requirements with Engineer prior to commencement of work. Contractor shall coordinate construction staking, testing, documentation submittal and observation with the appropriate Agency, Surveyor and/or Engineer as required for Engineer's Certification and Government Agency Acceptance. All materials used and work done shall meet or exceed the requirements of certification and acceptance, the contract documents and the material specifications noted on the project plans. Any materials used or work done that does not meet said requirements, contract documents and/or specifications shall be replaced and/or redone at Contractor's expense. The Owner/Developer may wait for test results, certifications and/or Agency reviews prior to accepting work.
- Engineer may provide subsurface soil evaluation results, if available, to Contractor upon request. Subsurface soil evaluation results, soil maps and/or any other documentation does NOT guarantee existing soil conditions or that sufficient, acceptable on-site granular material is available for use as structural fill, pipe bedding, pipe backfill, road subbase or use as any other granular material specified on the project plans. On-site granular material that meets or exceeds the material specifications noted on the project plans may be used as structural fill, pipe bedding, pipe backfill and/or road subbase material. On-site granular material shall be stockpiled and tested as acceptable to the appropriate Agency and/or Engineer prior to use.
- During the performance of their work, Contractor shall be solely responsible for determining soil conditions and appropriate construction methods based on the actual field conditions. Contractor shall furnish, install and maintain sheeting, shoring, bracing and/or other tools and equipment and/or construction techniques as needed for the safety and protection of the workers, pedestrians and vehicular traffic and for protection of adjacent structures and site improvements.
- Contractor shall install temporary and permanent soil erosion and sedimentation control devices at the appropriate stages of construction in accordance with the appropriate regulatory Agencies. Refer to Soil Erosion and Sedimentation Control Plans and Notes on the project plans.
- Structural fill shall be placed as specified on the project plans and within the 1 on 1 influence zone of all structures, paved areas and other areas subject to vehicular traffic. Structural fill shall be placed using the controlled density method (12" maximum lifts, compacted to 95% maximum unit weight, modified proctor). Fill material shall meet or exceed the specifications noted on the project plans or as directed by Engineer when not specified on the project plans.
- All existing monuments, property corners, ground control and benchmarks shall be protected and preserved; and if disturbed by Contractor, shall be restored at Contractor's expense. Contractor shall notify Surveyor of any conflicts between existing monuments, property corners, ground control and/or benchmarks and the proposed site improvements.
- Contractor shall notify Owner/Developer and Engineer immediately upon encountering any field conditions, which are inconsistent with the project plans and/or specifications.
- When noted on the project plans for demolition and/or removal, Contractor shall remove existing structures, building and debris and recycle and/or dispose of in accordance with Local, County, State and Federal regulations.
- Contractor shall remove excess construction materials and debris from site and perform restoration in accordance with the project plans and specifications. Disposing of excess materials and debris shall be performed in accordance with Local, County, State and Federal regulations.
- Construction access to the site shall be located as acceptable to the Owner/Developer and to the appropriate Local, County and/or State Agency with jurisdiction over the road(s) providing access to the site. Construction access shall be maintained in accordance with the appropriate Local, County and/or State Agencies and as directed by Owner/Developer and/or Engineer.
- Contractor shall take necessary precautions to protect all site improvements from heavy equipment and construction procedures. Damage resulting from Contractor actions shall be repaired at Contractor's expense.

DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.						
CHECK: WMP						

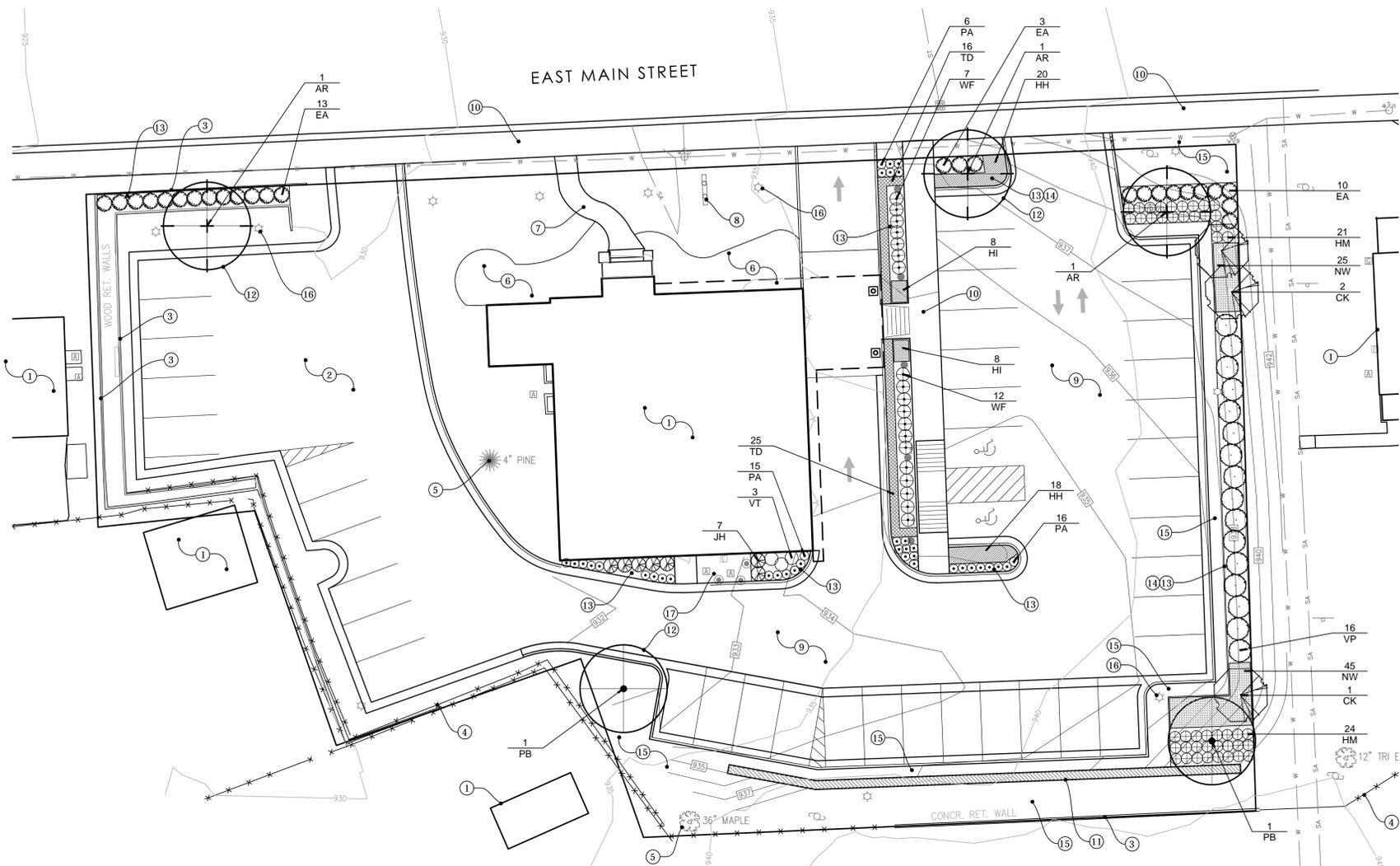
LYNCH & SONS
Funeral Directors

SITE DEVELOPMENT NOTES AND DETAILS

CLIENT: LYNCH AND SONS	SCALE: N/A
600 E. MAIN ST. BRIGHTON, MI. 48116	PROJECT No.: 9152704
(810) 229-2905	DWG NAME: 2704-DTS
	ISSUED: MAR. 25, 2016



DT



GENERAL LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, THE PLAN SHALL GOVERN QUANTITIES. CONTACT THE LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ANY DAMAGE OR INTERUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES, AND SHALL REPORT ANY UNACCEPTABLE SITE CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT.
- PLANTS SHALL BE FULL, WELL-BRANCHED, AND IN HEALTHY VIGOROUS GROWING CONDITION.
- PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE.
- ALL TREES MUST BE STAKED, FERTILIZED AND MULCHED AND SHALL BE GUARANTEED TO EXHIBIT A NORMAL GROWTH CYCLE FOR AT LEAST ONE (1) YEAR FOLLOWING PLANTING.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE "AMERICAN STANDARDS FOR NURSERY STOCK". CONTRACTOR WILL SUPPLY FINISHED GRADE AND EXCAVATE AS NECESSARY TO SUPPLY PLANT MIX DEPTH IN ALL PLANTING BEDS AS INDICATED IN PLANT DETAILS. SLOW RELEASE FERTILIZER SHALL BE ADDED TO THE PLANT PITS BEFORE BEING BACKFILLED. APPLICATION SHALL BE AT THE MANUFACTURERS RECOMMENDED RATES.

- AMENDED PLANT MIX (PREPARED TOPSOIL) SHALL CONSIST OF 1/3 SCREENED TOPSOIL, 1/3 SAND, AND 1/3 "DABY DOO" COMPOST, MIXED WELL AND SPREAD TO A DEPTH AS INDICATED IN PLANTING DETAILS.
- ALL PLANTINGS SHALL BE MULCHED WITH DOUBLE SHREDDED HARDWOOD BARK, SPREAD TO A DEPTH OF 3" FOR TREES AND SHRUBS, AND 2" ON PERENNIALS, AND GROUND COVER PLANTINGS. MULCH SHALL BE FREE FROM DEBRIS AND FOREIGN MATERIAL, AND PIECES OF INCONSISTENT SIZE.
- NO SUBSTITUTIONS OR CHANGES OF LOCATION, OR PLANT TYPE SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
- THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS PRIOR TO INSTALLATION.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN A VERTICAL CONDITION THROUGHOUT THE GUARANTEED PERIOD.
- THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE SHALL HAVE THE RIGHT TO REJECT ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF THE PLANS AND/OR SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR SHALL SEED AND MULCH OR SOG (AS INDICATED ON PLANS) ALL AREAS DESIGNATED AS SUCH ON THE PLANS, THROUGHOUT THE CONTRACT LIMITS. FURTHER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING AREAS DISTURBED DURING CONSTRUCTION, NOT IN THE CONTRACT LIMITS, TO EQUAL OR GREATER CONDITION.
- ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESSIVE WATER FROM PONDING ON LAWN AREAS OR AROUND TREES AND SHRUBS.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM.

Note Key:

- ① EXISTING BUILDING
- ② EXISTING ASPHALT PARKING LOT
- ③ EXISTING RETAINING WALLS TO REMAIN
- ④ EXISTING FENCE TO REMAIN
- ⑤ EXISTING TREE TO REMAIN, PROTECT AS REQUIRED DURING CONSTRUCTION
- ⑥ EXISTING LANDSCAPE TO REMAIN, PROTECT AS REQUIRED DURING CONSTRUCTION
- ⑦ EXISTING CONCRETE PAVER WALK TO REMAIN
- ⑧ EXISTING SIGN, PROTECT AS REQUIRED DURING CONSTRUCTION
- ⑨ PROPOSED ASPHALT PARKING LOT, SEE CIVIL ENGINEERING DRAWINGS
- ⑩ CONCRETE WALK
- ⑪ PROPOSED SEGMENTAL RETAINING WALL, SEE CIVIL ENGINEERING DRAWINGS
- ⑫ DECIDUOUS CANOPY TREE, SEE TYPICAL DETAIL
- ⑬ PLANTING AREA, SEE TYPICAL DETAILS AND GENERAL LANDSCAPE NOTES
- ⑭ SHOVEL CUT EDGE BETWEEN LAWN AND LANDSCAPE BED
- ⑮ SODDED LAWN OVER MINIMUM 4" DEPTH TOPSOIL TO LIMITS OF DISTURBANCE
- ⑯ SITE LIGHTING, TYPICAL
- ⑰ 3" DEPTH 3/4" CLEAN NATURAL CRUSHED STONE OVER FABRIC

Site Landscape Calculations

PERIMETER PARKING:
Minimum of 1 Deciduous Canopy tree / 30 lf. of frontage abutting a public R.O.W.
Total Road Frontage East Main Street: 92 lf.

Total Deciduous or Evergreen Trees Required: (92 / 30) = 3.07 or 3
Total Deciduous Trees Provided: 3

There shall also be a 42-inch tall solid hedge of shrubs (evergreen or deciduous) to provide screening from adjacent roads and land uses. This has been provided along East Main Street and the east property line adjacent to the proposed parking lot

INTERIOR PARKING LOT LANDSCAPE:
Tree Planting:
3% of the area of the total parking lot shall be used for interior landscape islands
Total Parking Lot Area: 18,455 sf.
Total Landscape Area Required: 18,455 * 3% = 553 sf.
Total Interior Landscape Area Provided: 616 sf.

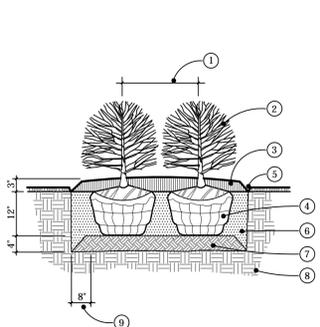
A minimum of one (1) Deciduous Tree shall be planted for each 250 sf. or fraction thereof of required landscape area: (553 / 250) = 2.12 or 3
Total Trees Required: 3
Total Trees Provided: 3 (1 existing)

Maintenance Notes

- All landscape areas and plants shall be maintained in excellent condition. At any time, diseased or dead plantings shall be removed and replaced. In the event that a property owner does not maintain the landscape area(s), the city shall provide written notice to the property owner setting forth the manner in which there has been a failure to maintain the landscape area(s). All maintenance shall be completed within 30 days of notice. If the property owner does not respond to the notice within 30 days, the property shall be determined a nuisance and nuisance abatement action taken. In addition:
- A. Landscape material shall not interfere with public utilities, restrict pedestrian or vehicular access, or otherwise constitute a traffic hazard;
 - B. Within two years of installation (or incorporation of existing vegetation), all trees, shrubs, ground covers and other plant materials shall be replaced if they fail to thrive;
 - C. Replacement plants shall conform to the approved plan.

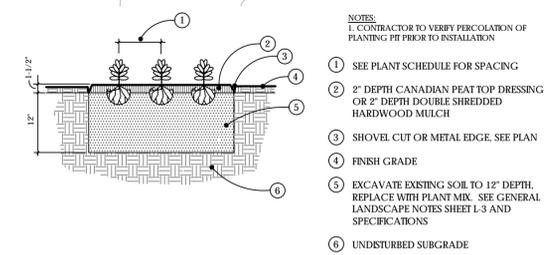
PLANT SCHEDULE

TREES							
QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	ROOT	COMMENTS
AR	3	Acer r. 'Redpointe'	Redpointe Red Maple	2.5' cal	as shown	B&B	Single straight stem
CK	3	Cornus kousa	Kousa Dogwood	7' ht.	as shown	B&B	Matched
PB	2	Platanus x. a. 'Bloodgood'	London Planetree	2.5' cal	as shown	B&B	Single straight stem
SHRUBS							
EA	26	Euonymus a. 'Compacta'	Compact Burning Bush	42"	as shown	B&B	Trim to hedge
HM	45	Hydrangea m. 'Twist and Shout'	Twist and Shout Hydrangea	5 gal.	as shown	cont	Well rooted
JH	21	Juniperus 'Hetz Columnar'	Hetz Columnar Juniper	6' ht.	as shown	B&B	
TD	47	Taxus x m. 'Densifomis'	Dense Yew	30" ht.	30" o.c.	B&B	Trim to hedge
VP	13	Viburnum p.t. 'Mariesii'	Mariesii Doublefile Viburnum	42"	as shown	B&B	
VT	43	Viburnum opulus 'Nanum'	Dwarf European Cranberry Bush	5 gal.	as shown	cont	Well rooted
WF	19	Weigela f. 'Spilled Wine'	Spilled Wine Weigela	5 gal.	as shown	cont	Well rooted
PERENNIALS							
HH	38	Hemerocallis 'Happy Returns'	Happy Returns Daylily	1 gal.	18" o.c.	cont.	Well rooted
HI	16	Hemerocallis 'Indian Giver'	Indian Giver Daylily	1 gal.	18" o.c.	cont.	Well rooted
NW	70	Nepeta x f. 'Walker's Low'	Walker's Low Nepeta	1 gal.	24" o.c.	cont.	Well rooted
PA	37	Pennisetum a. 'Hamel'	Hamel Dwarf Fountain Grass	2 gal.	24" o.c.	cont.	Well rooted



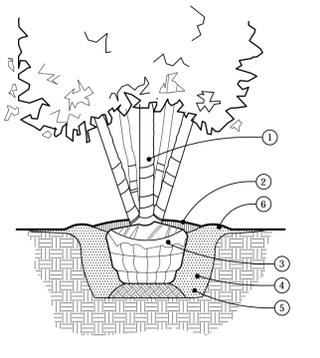
5 SHRUB PLANTING
NOT TO SCALE

- NOTES:**
1. CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION
2. SET TOP OF ROOTBALL 2" ABOVE FINISH GRADE
- SEE PLAN FOR SPACING
 - SHRUBS, SEE PLANT SCHEDULE
 - 3" DEPTH DOUBLE SHREDDED HARDWOOD MULCH, TYPICAL
 - REMOVE ALL NON-BIODEGRADABLE TWINE FROM ENTIRE ROOTBALL. REMOVE BURLAP FROM TOP 1/2 OF ROOTBALL.
 - SHOVEL CUT OR METAL EDGE, SEE PLAN
 - EXCAVATE EXISTING SOIL TO 12" DEPTH, REPLACE WITH PLANT MIX. SEE GENERAL LANDSCAPE NOTES SHEET L-3 AND SPECIFICATIONS
 - SCAREBY TO 4" DEPTH AND RECOMPACT
 - UNDISTURBED SUBGRADE
 - MINIMUM 8" BETWEEN ROOTBALL AND EDGE OF PLANTING PIT



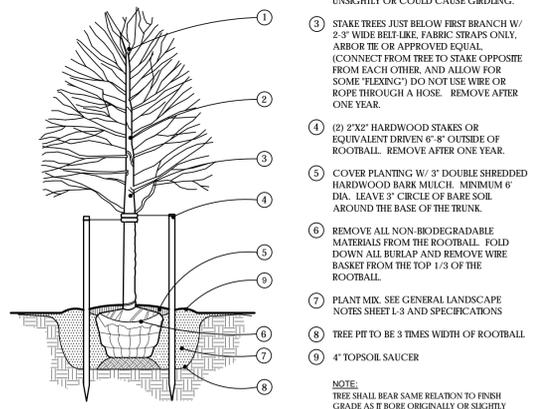
3 PERENNIAL / GROUND COVER PLANTING
NOT TO SCALE

- NOTES:**
1. CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION
- SEE PLANT SCHEDULE FOR SPACING
 - 2" DEPTH CANADIAN PEAT TOP DRESSING OR 2" DEPTH DOUBLE SHREDDED HARDWOOD MULCH
 - SHOVEL CUT OR METAL EDGE, SEE PLAN
 - FINISH GRADE
 - EXCAVATE EXISTING SOIL TO 12" DEPTH, REPLACE WITH PLANT MIX. SEE GENERAL LANDSCAPE NOTES SHEET L-3 AND SPECIFICATIONS
 - UNDISTURBED SUBGRADE



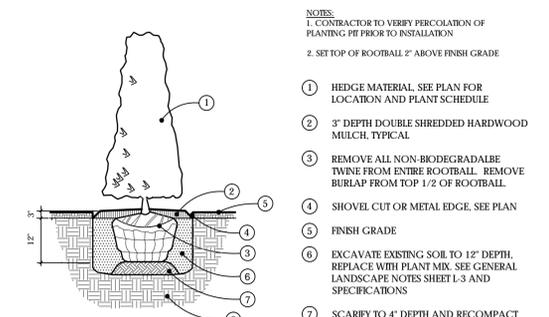
4 MULTISTEM TREE PLANTING
NOT TO SCALE

- NOTES:**
1. CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION
2. SET TOP OF ROOTBALL 3" ABOVE FINISH GRADE
- REMOVE ALL TAGS, STRINGS, PLASTICS, AND ANY OTHER MATERIALS WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDLING.
 - COVER PLANTING W/ 3" DOUBLE SHREDDED HARDWOOD BARK MULCH, MINIMUM 6" DIA. LEAVE 3" CIRCLE OF BARE SOIL AROUND BASE OF THE STEMS.
 - REMOVE ALL NON-BIODEGRADABLE MATERIALS FROM THE ROOTBALL. FOLD DOWN ALL BURLAP AND REMOVE WIRE BASKET FROM THE TOP 1/3 OF THE ROOTBALL.
 - PLANT MIX, SEE GENERAL LANDSCAPE NOTES SHEET L-3 AND SPECIFICATIONS
 - TREE PIT TO BE THREE TIMES WIDTH OF ROOTBALL
 - 4" TOPSOIL SAUCER



2 DECIDUOUS TREE PLANTING
NOT TO SCALE

- REMOVE SECONDARY LEADERS. DO NOT PRUNE TERMINAL LEADER OR BRANCH TOPS. PRUNE ALL DEAD AND BROKEN BRANCHES.
 - REMOVE ALL TAGS, STRINGS, PLASTICS, AND ANY OTHER MATERIALS WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDLING.
 - STAKE TREES JUST BELOW FIRST BRANCH W/ 2 1/2" WIDE BELT-LIKE FABRIC STRAPS ONLY. ARBOR TRE OR APPROVED EQUAL. (CONNECT FROM TREE TO STAKE OPPOSITE FROM EACH OTHER, AND ALLOW FOR SOME "FLEXING") DO NOT USE WIRE OR ROPE THROUGH A HOSE. REMOVE AFTER ONE YEAR.
 - (2) 2"x2" HARDWOOD STAKES OR EQUIVALENT DRIVEN 6"-8" OUTSIDE OF ROOTBALL. REMOVE AFTER ONE YEAR.
 - COVER PLANTING W/ 3" DOUBLE SHREDDED HARDWOOD BARK MULCH, MINIMUM 6" DIA. LEAVE 3" CIRCLE OF BARE SOIL AROUND THE BASE OF THE TRUNK.
 - REMOVE ALL NON-BIODEGRADABLE MATERIALS FROM THE ROOTBALL. FOLD DOWN ALL BURLAP AND REMOVE WIRE BASKET FROM THE TOP 1/3 OF THE ROOTBALL.
 - PLANT MIX, SEE GENERAL LANDSCAPE NOTES SHEET L-3 AND SPECIFICATIONS
 - TREE PIT TO BE 3 TIMES WIDTH OF ROOTBALL
 - 4" TOPSOIL SAUCER
- NOTE:**
TREES SHALL BEAR SAME RELATION TO FINISH GRADE AS F BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 4" ABOVE GRADE. F DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.
- NOTES:**
1. STAKE TREES 3" - 5" CALIPER ONLY
2. GUY TREES 6" CALIPER AND OVER
3. CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION
4. SET STAKES VERTICAL AND EVENLY SPACED
5. STAYS OR GUYS TO BE SET ABOVE FIRST BRANCH



1 HEDGE PLANTING
NOT TO SCALE

- NOTES:**
1. CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION
2. SET TOP OF ROOTBALL 2" ABOVE FINISH GRADE
- HEDGE MATERIAL, SEE PLAN FOR LOCATION AND PLANT SCHEDULE
 - 3" DEPTH DOUBLE SHREDDED HARDWOOD MULCH, TYPICAL
 - REMOVE ALL NON-BIODEGRADABLE TWINE FROM ENTIRE ROOTBALL. REMOVE BURLAP FROM TOP 1/2 OF ROOTBALL.
 - SHOVEL CUT OR METAL EDGE, SEE PLAN
 - FINISH GRADE
 - EXCAVATE EXISTING SOIL TO 12" DEPTH, REPLACE WITH PLANT MIX. SEE GENERAL LANDSCAPE NOTES SHEET L-3 AND SPECIFICATIONS
 - SCAREBY TO 4" DEPTH AND RECOMPACT
 - UNDISTURBED SUBGRADE



3 FULL WORKING DAYS
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SCALE: 1" = 10'-0"

NORTH



CITY OF BRIGHTON
REPORT FROM THE CITY MANAGER TO CITY COUNCIL
May 26, 2016

SUBJECT: CONSIDER AUTHORIZING THE CITY MANAGER TO NEGOTIATE THE FINAL TERMS AND EXECUTE A FACILITY SCHEDULING AGREEMENT FOR THE BRIGHTON COMMUNITY CENTER WITH BRIGHTON AREA SCHOOLS

ADMINISTRATIVE SUMMARY

- Currently, SELCRA coordinates all of the rentals of the Community Center for the City of Brighton.
- The City will no longer be a member of SELCRA beginning July 1, 2016.
- The Brighton Area Schools is proposing to coordinate all rentals for the Community Center.
- The City will pay the cost of the cleaning for the Rotary, Boy Scouts, City of Brighton, and the Brighton Garden Club.
- The BAS will pay for the cleaning of the building when it is used for BAS-sponsored functions.
- The revenue for the rentals will be split 50/50 between the City and BAS.
- The City will continue to maintain the building and grounds (i.e., HVAC, building repairs, mowing, snow removal, etc.)
- The City will continue to pay for the electric and gas service for the Community Center.

RECOMMENDATION

Consider authorizing the City Manager to Negotiate the Final Terms and Execute a Facility Scheduling Agreement for the Brighton Community Center with Brighton Area Schools.

Prepared by: Patty Thomas, Asst. DPW Director

Reviewed by: Dave Blackmar, DPW Director

Approved by: Nate Geinzer, City Manager