

AGENDA
CITY COUNCIL REGULAR BUSINESS MEETING
CITY OF BRIGHTON
OCTOBER 6, 2016 - 7:30 P.M.
CITY HALL COUNCIL CHAMBERS
200 NORTH FIRST STREET
BRIGHTON, MICHIGAN
TELEPHONE: 810-227-1911 WEBSITE: www.brightoncity.org

Business Meeting - 7:30 PM

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Consider Approval of the Agenda

Consent Agenda Items

5. Approval of Minutes: [Study Session of September 15, 2016](#)
6. Approval of Minutes: [Regular Meeting of September 15, 2016](#)
7. Approval of Minutes: Closed Session of September 15, 2016
8. Approval of Minutes: [Special Meeting of September 29, 2016](#)
9. Consider **Resolution** for [Charitable Gaming License for the Livingston County Community Alliance](#)

Correspondence

10. Call to the Public
11. Information for City Customers
12. Receive Updates from Council Member Liaisons to other Boards and Commissions

New Business

13. Consider Approval of [Candlewood Suites \(152 Library Drive\) Site Plan #16-007](#)
14. Consider Extension of [Fire Station Lease to the Brighton Area Fire Authority](#)
15. Consider Approval of [Proposal for Pavement Assessment and Asset Management Integration to Tetra Tech in the Amount of \\$41,000](#)
16. Consider Appointment of a Council Member to Serve as County Commission Liaison

Other Business

17. Call to the Public
18. Consider Entering Closed Session to Discuss Collective Bargaining Pursuant to MCL 15.268(c).
19. Consider Possible Actions Resulting from Closed Session Regarding Pending Collective Bargaining
20. Adjournment

MINUTES OF THE STUDY SESSION OF THE CITY COUNCIL OF BRIGHTON
HELD ON SEPTEMBER 15, 2016 AT THE BRIGHTON CITY HALL
200 N. 1ST STREET, BRIGHTON, MICHIGAN

STUDY SESSION

The Council conducted a Study Session at 6:30 p.m.

Present were Mayor Muzzin, Mayor Pro-Tem Pipoly, Councilmembers Bohn, Pettengill, Tobbe, Emaus, and staff: City Manager Geinzer, Management Assistant Reed, Utilities Director Krugh, DPW Director Blackmar, Chief Wightman, Organization Relations Manager Miller, Finance Director Gomolka, Clerk Stewart, Attorney Maynes, Engineer Markstrom, and an audience of two.

Councilmember Gardner contacted the Mayor to inform him she would be late to the Study Session. She arrived at 6:49 p.m.

DISCUSSION ON ENGINEERING SERVICES OUTSIDE OF EXISTING CONTRACT

Manager Geinzer wanted direction from the City Council as to the use of an outside engineer to have some comparison on cost and services for projects. The Mayor mentioned that Tetra Tech could still be used, but we would have more options. The Council discussed the cost to wait on projects, and the availability of staff to assist. Mayor Muzzin suggested to continue using Tetra Tech and instructed the City Manager to proceed with the current engineer but with option of using outside vendors for other projects.

DISCUSSION ON OPTIONS FOR CITY COUNCIL FALL RETREAT

Management Assistant Reed presented a recommendation for the City Council Retreat including using an outside facilitator, holding team building activities, and suggested using an offsite location. City Council discussed the options and the cost of the meeting. Staff collected feedback and will provide modified recommendations at a future meeting.

ADJOURNMENT

It was moved by Mayor Pro Pipoly and Emaus to adjourn the meeting at 7:27 p.m.

Motion passed 7-0.

Pamela Stewart, City Clerk

James Muzzin, Mayor

MINUTES OF THE MEETING OF THE CITY COUNCIL OF BRIGHTON
HELD ON SEPTEMBER 15, 2016 AT THE BRIGHTON CITY HALL
200 N. 1ST STREET, BRIGHTON, MICHIGAN

REGULAR SESSION

Present were Mayor Muzzin, Mayor Pro-Tem Pipoly, Councilmembers Bohn, Pettengill, Gardner, Emaus, Tobbe and staff: City Manager Nate Geinzer, Utilities Director Tim Krugh, DPW Director Dave Blackmar, Chief Tom Wightman, Finance Director Gretchen Gomolka, Clerk Pamela Stewart, Attorney Maynes, Management Assistant Reed and an audience of ten.

Tom Tolen from WHMI was present from the press.

AGENDA APPROVAL

Councilmember Emaus requested that the approval of number six be moved from consent to new business. The Mayor moved item six to new business. It was moved by Mayor Pro Tem Pipoly seconded by Tobbe to approve the Agenda as amended. The motion passed 7-0.

CONSENT AGENDA

It was moved by Mayor Pro Tem Pipoly seconded by Tobbe to approve the Consent Agenda. The motion passed 7-0.

The following items were approved:

Study Session Minutes of September 1, 2016.

CALL TO THE PUBLIC

Mayor Muzzin opened the Call to the Public at 7:32 p.m.

Seeing and hearing none the Call to the Public was closed at 7:32 p.m.

CITY CUSTOMER INFORMATION AND BOARD UPDATES

DPW Director Blackmar mentioned leaf collection shifted to a later date. The new dates will be October 10-December 7. Leaf bags will be available starting on Sept 16th.

Management Assistant Reed talked about the launch of the e-newsletter, The Brighton Bulletin. Citizens can sign up to receive the newsletter on the City of Brighton.org or the City's Facebook page.

City Council
September 15, 2016
Page 2

Mayor Pro Tem Pipoly met with the PSD fourth quarter advertising with billboard and radio was discussed, as well as, issues with the Christmas lights downtown.

Councilmember Bohn received emails from Northridge Woods' residents. Tetra Tech was out researching grade. Residents were positive about the speed at which the situation was being addressed. A damaged tree off Maurice was noted. DPW Director Blackmar noted that it was not currently dangerous and would be addressed.

Councilmember Pettengill asked DPW Director Blackmar about crosswalk repainting.

Mayor Muzzin mentioned that the Fire Department's Treasurer Robin Hunt's husband passed away. The department purchased radio speakers and positive pressure fans. St Paul's church is hosting a first responder's appreciation day on September 25th from 4-7 p.m. Fire Department held its annual 5K and held the 9/11 anniversary memorial.

MINUTES FROM THE REGULAR SESSION SEPTEMBER 1, 2016

Councilmember Emaus corrected the minutes from the September 1, 2016 to reflect that the site plan for Buon Gusto's approval was moved by Councilmember Gardner and approved by Emaus not Pipoly as the Mayor Pro Tem had excused himself due to a conflict of interest.

It was moved by Councilmember Emaus and seconded by Tobbe to approve the minutes as amended.

Motion passed 7-0

RESOLUTION 16-14 IMPOSING LIENS ON PROPERITES FOR UNPAID FEES

Finance Director Gomolka mentioned that Pi's Asian Cuisine needed to be removed from resolution because they had paid the associated fees.

Councilmember Tobbe made a motion to approve Resolution 16-14 and Pipoly seconded the motion. Attorney Maynes reminded the Council that the Resolution should be approved as amended.

Councilmember Emaus made a friendly amendment to approve the Resolution as amended. Tobbe accepted the friendly amendment and Pipoly supported.

Roll Call Yes: Emaus, Gardner, Muzzin, Pipoly, Bohn, Pettengill, Tobbe No: None

Motion passed 7-0.

RESOLUTION 16-15 JUNE 30, 2016 FINAL BUDGET AMENDMENT

Finance Director Gomolka reported that the reason for an additional amendment was to account for the final payout to the retired clerk.

Mayor Pro Tem Pipoly made a motion seconded by Emaus to approve Resolution 16-15.

Roll Call Yes: Emaus, Gardner, Muzzin, Pipoly, Bohn, Pettengill, Tobbe No: None

Motion passed 7-0.

APPOINTMENT OF LIVINGSTON COUNTY TRANSPORTATION COALITION LIASON

Mayor Muzzin recommended the appointment of Councilmember Emaus to represent the Council at the Livingston County Transportation Coalition.

Mayor Pro Tem Pipoly made a motion seconded by Pettengill to appoint Councilmember Emaus to the Coalition.

Motion passed 6-0-1 Emaus abstained as he was the appointee.

PROPOSAL FOR PARKING AND SIDEWALK LOT MAINTENCE

DPW Director Blackmar discussed the bid proposal and that he would work with the DDA to identify additional scope. Councilmembers had questions about mill and overlay and parking lot striping.

Mayor Pro Tem Pipoly made a motion seconded by Emaus to award the contract to T& M Asphalt in the amount of \$52,821.90 and authorize City Manager to amend the Parking Lot Maintenance and Sidewalk Maintenance awards as needed in an amount not to exceed \$27,283.

Motion passed 7-0

CALL TO THE PUBLIC

Mayor Muzzin opened the Call to the Public at 8:05 p.m.

Call to the Public was closed at 8:05 p.m.

CLOSED SESSION PURSUANT TO MCL 15.268 (H)

Mayor Pro Tem Pipoly moved to go into Closed Session and was seconded by Emaus at 8:05 p.m. to receive a written attorney-client privileged communication pursuant to MCL15.268(H)

A roll call vote was taken. Yes: Muzzin, Pipoly, Gardner, Emaus, Pettengill, Bohn, Tobbe No: none.

Motion passed 7-0.

It was moved by Mayor Pro Tem Pipoly, seconded by Emus to come out of closed session at 8:25 p.m.

ACTION FROM CLOSED SESSION

No action was taken from the Closed Session.

City Council
September 15, 2016
Page 4

ADJOURNMENT

It was moved by Councilmember Emaus seconded by Gardner to adjourn the meeting at 8:25 p.m.

Motion passed 7-0

Pamela Stewart, Clerk

James Muzzin, Mayor

MINUTES OF THE SPECIAL MEETING OF THE CITY COUNCIL OF BRIGHTON
HELD ON SEPTEMBER 29, 2016 AT THE BRIGHTON CITY HALL
200 N. 1ST STREET, BRIGHTON, MICHIGAN

WORK SESSION

The Council conducted a Work Session at 6:30 p.m.

Present were Mayor Muzzin, Mayor Pro Tem Pipoly, Councilmembers Bohn, Pettengill, Emaus, Gardner and staff: City Manager Geinzer, Management Assistant Reed, Utilities Director Krugh, DPW Director Blackmar, Chief Wightman, Finance Director Gomolka, DPW Director Blackmar, Clerk Stewart, Deputy Clerk Haataja, Community Development Associate Skopek, Zoning/Code Enforcement Associate Caruso and an audience of two.

It was moved by Mayor Pro Tem Pipoly and seconded by Emaus to excuse Councilmember Tobbe for personal reasons.

Motion passed 6-0.

DISCUSSION ON OPTIONS FOR CITY COUNCIL FALL RETREAT

Manager Geinzer did a short slide presentation summarizing the input from both Council and staff regarding the Fall Retreat. Manager Geinzer spoke about the desire for a vision from the staff, which would help to prioritize goals. Mayor Muzzin said that previously the purpose of retreat had been to set goals and objectives. The City Council discussed staff input, how the retreat might be organized, and touched on multiple issues that they wanted to address, including: safety, improving the Northwest neighborhoods streets, attracting development, a vision for the City, and establishing an infrastructure. Staff shared ideas on what kind of direction they were looking for during the retreat. Manager Geinzer thanked the Council for the conversation and noted a draft would be distributed in the next couple of weeks.

CALL TO THE PUBLIC

Susan Walters-Steinacker, 907 Brighton Lake Road, stated that no one on the staff lives within the City and should have no influence on the decisions made, and that staff were belittling the City Council. She mentioned Kissane Garden Project and said the property was donated and was close to a Brownfield area and should not be used for a garden.

The Council responded that they valued staff's opinions and that staff had shown their investment to the City through their work.

ADJOURNMENT

It was moved by Councilmember Emaus and Pettengill to adjourn the meeting at 7:22 p.m.

Motion passed 6-0.

Pamela Stewart, City Clerk

James Muzzin, Mayor



CITY OF BRIGHTON
REPORT FROM THE CITY MANAGER TO CITY COUNCIL
OCTOBER 6, 2016

SUBJECT: CHARITABLE GAMING LICENSE RESOLUTION FOR THE LIVINGSTON COUNTY COMMUNITY ALLIANCE

ADMINISTRATIVE SUMMARY

- The Livingston County Community Alliance is a non-profit organization
- The LCCA works toward establishing and promoting healthy community norms concerning alcohol and drug use
- The LCCA is holding a fundraiser on November 12, 2016 from 10a.m.-5p.m.
- The fundraiser will consist of an arts and crafts show and various raffles to earn funds to increase awareness and prevention of underage alcohol, tobacco, and other drug use.

RECOMMENDATION

Approve the charitable gaming license for Livingston County Community Alliance (LCCA).

Prepared by: Pamela Stewart, City Clerk

Reviewed/Approved by: Nate Geinzer, City Manager

Item # 6



Charitable Gaming Division
Box 30023, Lansing, MI 48909
OVERNIGHT DELIVERY:
101 E. Hillsdale, Lansing MI 48933
(517) 335-5780
www.michigan.gov/cg

LOCAL GOVERNING BODY RESOLUTION FOR CHARITABLE GAMING LICENSES
(Required by MCL.432.103(K)(ii))

At a _____ meeting of the _____
REGULAR OR SPECIAL TOWNSHIP, CITY, OR VILLAGE COUNCIL/BOARD

called to order by _____ on _____
DATE

at _____ a.m./p.m. the following resolution was offered:
TIME

Moved by _____ and supported by _____

that the request from _____ of _____
NAME OF ORGANIZATION CITY

county of _____, asking that they be recognized as a
COUNTY NAME

nonprofit organization operating in the community for the purpose of obtaining charitable

gaming licenses, be considered for _____
APPROVAL/DISAPPROVAL

APPROVAL	DISAPPROVAL
Yeas: _____	Yeas: _____
Nays: _____	Nays: _____
Absent: _____	Absent: _____

I hereby certify that the foregoing is a true and complete copy of a resolution offered and
adopted by the _____ at a _____
TOWNSHIP, CITY, OR VILLAGE COUNCIL/BOARD REGULAR OR SPECIAL

meeting held on _____
DATE

SIGNED: _____
TOWNSHIP, CITY, OR VILLAGE CLERK

PRINTED NAME AND TITLE

ADDRESS

COMPLETION: Required.
PENALTY: Possible denial of application.
BSL-CG-1153(R6/09)



CITY OF BRIGHTON

REPORT FROM THE CITY MANAGER TO CITY COUNCIL

OCTOBER 6, 2016

**SUBJECT: CONSIDERATION OF SITE PLAN APPROVAL #16-007
CANDLEWOOD SUITES (151 Library Drive)**

ADMINISTRATIVE SUMMARY

- Brighton Hospitality, LLC is proposing to construct a three (3) story, 90 room hotel on the east side of Library Drive in the I-A, Light Industrial Zoning District and is included in the Parker Property mixed use development plan. The proposed hotel will have 90 parking spaces.
- The parcel is approximately 3.25 acres in size and is located between the First National Bank and the US Postal Office.
- The previous owner of the parcel sought and received site plan approval for a 108 room hotel in 2008, but construction never commenced.
- The installation of sidewalk along Library Drive was requested by the Planning Commission.

RECOMMENDATION

The Planning Commission is recommending approval with conditions as stipulated in the attached minutes. It is recommended that site plan #16-007, Candlewood Suites, be approved pursuant to Planning Commission's September 19, 2016 Recommendation.

Prepared by: Brandon Skopek,
Community Development Associate

Michael Caruso,
Zoning and Code Enforcement Associate

Approved by: Nate Geinzer,
City Manager

Attachments:

1. Unapproved PC Minutes
2. Site Plan

**City of Brighton
Planning Commission
Meeting Minutes
September 19, 2016**

1. Call to Order/Roll Call

Chairperson Monet called the meeting to order at 7:30 p.m.

The following Commissioners were present:

Jim Bohn	Susan Gardner
Steve Monet	Michael Schutz
William Bryan	David McLane
Robert Pawlowski	Matthew Smith
	David Petrak

Also present was Nate Geinzer, City Manager; Mike Caruso, Rental Inspector / Code Enforcement Officer; Brad Maynes, City Attorney; Kari Jozwick, from Tetra Tech, and an audience of 6.

2. Approval of the June 6, 2016 Joint Planning Commission and City Council Meeting Minutes.

Motion by Commissioner Smith, supported by Commissioner Gardner, to approve the June 6, 2016 Joint Planning Commission meeting minutes as presented. **The motion carried 8-0-0, with Commissioner Petrak abstaining.**

3. Approval of the August 15, 2016 Meeting Minutes.

Motion by Commissioner Bohn, supported by Commissioner McLane, to approve the August 15, 2016 Planning Commission meeting minutes as presented. **The motion carried 7-0-0, with Commissioners Petrak and Smith abstaining.**

4. Approval of the September 19, 2016 Agenda

It was noted that Agenda Item #8 and #9 should be combined and read as follows:

"8. Public Hearing and Preliminary Site Plan #16-009 – Mixed Use Development – Property Located at North and West Street"

Motion by Commissioner Pawlowski, supported by Commissioner Petrak, to approve the agenda as amended. **The motion carried 9-0-0.**

5. Call to the Public

The call to the public was made at 7:35 pm.

Ms. Whitney Stone of 424 Victoria Square stated they have put on a lot of music events downtown. They are very excited for the new condominium development on tonight's agenda.

The call to the public was closed at 7:36 pm.

Old Business

6. None

New Business

7. Site Plan #16-007 – Candlewood Suites – 151 Library Drive

Mr. Barb stated the applicant has addressed all of their concerns outlined in their first review letter. The hotel will be 20,363 square feet, three stories tall, and have 90 rooms.

Mr. Caruso stated there were not comments from staff.

Mr. Andy Andre of Bud Design & Engineering Services gave a review of the project as well as Candlewood Suites' business model. He advised that they have worked with staff and the consultants and have addressed all outstanding issues.

Ms. Jozwik stated there are some outstanding issues concerning the water main on the construction plan drawings that she is sure can be addressed by the applicant. Mr. Andre acknowledged these issues and stated they will be addressed.

Chairman Monet asked how Candlewood Suites determined there is a market for another hotel in this location. Mr. Shammami, the owner, stated they hired a third party to do a feasibility study and they feel the new hospital will provide additional demand for hotels.

Commissioner Gardner asked if sidewalks are going to be installed along Library Drive. It was noted that there are sidewalks in front of the bank, to the north of this site, as well as along the side of the post office to the south. Mr. Andre agreed to install sidewalks on Library Drive in front of their property.

Motion by Commissioner Petrak, supported by Commissioner Gardner, to recommend to City Council approval of Site Plan #16-007 for Candlewood Suites located at 151 Library Drive, with the addition of sidewalks being installed on Library Drive along the applicant's property line.
The motion carried unanimously (9-0-0).

8. Public Hearing and Preliminary Site Plan #16-009 – Mixed Use Development – Property Located at North and West Street

The call to the public was made at 7:51 pm.

Mr. Cal Stone, 424 Victoria Square, reiterated what his wife said in the call to the public. He feels there is a need for condominiums in the downtown.

The call to the public was closed at 7:53 pm.

Mr. Geinzer gave a summary of the PUD process. City staff and consultants have met with the developer and many of the initial outstanding items have been addressed. The most important outstanding issue at this time is parking. He feels the rezoning and preliminary site plan can move forward at this time and all outstanding issues can be resolved before final site plan approval. Staff feels the project is consistent with the Master Plan.

Mr. Frank Portelli of Genesis Homes gave a review of the project. It will be a five-story building. The first floor will be half on-site parking and half commercial. The other four floors will be residential. He is currently providing 40 parking spaces. He understands that parking is a major concern, and they are working with their design and engineer firms to address this.

The Planning Commissioners discussed their concerns regarding the building height, soil quality, architecture of the building, and parking.

Commissioner Petrak questioned if the building is in compliance with the ordinance with regard to height. Five stories is too tall and he does not feel that 40 parking spaces is sufficient for 40 residential units.

Chairman Monet feels this development will be good for the City. Commissioner Bohn agrees.

Commissioner Gardner likes the proximity of the residential units to the downtown.

Commissioner Smith likes the development; however, he feels the biggest challenge is the parking. Commissioner Schutz agrees.

Motion by Commissioner Gardner, supported by Smith, to recommend to City Council approval of the preliminary site plan for Brighton Mixed Use Development #160-009 located on the corner of North and West Street. **The Motion Carried (8-1-0).**

9. Zoning Code Update and Discussion (Clearzoning / Giffels Webster)

Ms. Jill Bahm and Mr. Rod Arroyo from Giffels Webster were present.

They discussed the changes that were proposed at last month's meeting. They discussed additional items that are proposed to be amended. Ms. Bahm and Mr. Arroyo will return at a future meeting with additional proposed changes to review with the Planning Commission.

Ms. Bahm and Mr. Arroyo will be attending the next DDA meeting to discuss downtown parking, maximum building height, and outdoor dining in the downtown. They will share the results of that discussion with the Planning Commission at their next meeting.

Other Business

10. Staff Updates

Mr. Geinzer stated that the City of Brighton continues to get calls on a weekly basis from businesses interested in moving into downtown.

11. Commissioners Report

No commissioners had anything to report.

12. Call to the Public

The call to the public was made at 9:31 pm with no response.

13. Adjournment

Motion by Commissioner Smith, supported by Commissioner Bohn, to adjourn the meeting at 9:31 pm. **The motion carried 9-0-0.**

Bill Bryan, Secretary

Patty Thomas, Recording Secretary



CANDLEWOOD[®]

SUITES

BRIGHTON, MICHIGAN

DRAWING INDEX:

CIVIL ENGINEERING:

- C2.0 SURVEY PLAN
- C3.0 SITE LAYOUT AND PAVING PLAN
- C3.1 SITE LIGHTING AND PHOTOMETRIC PLAN
- C4.0 GRADING PLAN
- C4.1 EROSION CONTROL PLAN
- C5.0 UTILITY PLAN
- C5.1 STORM MANAGEMENT PLAN
- C5.2 STORM MANAGEMENT CALCULATIONS
- C6.0 SITE DETAILS

LANDSCAPING

- L1.0 LANDSCAPE PLAN AND DETAILS

ARCHITECTURAL:

- A101 FIRST FLOOR PLAN
- A102 SECOND FLOOR PLAN
- A103 THIRD FLOOR PLAN
- A200 EXTERIOR ELEVATIONS
- A201 EXTERIOR ELEVATIONS
- A501 COMMON AREA PARTIAL PLAN
- A511 GUESTROOM PLANS

DEVELOPMENT TEAM

OWNER/ DEVELOPER:

BRIGHTON HOSPITALITY, LLC.
39675 12 MILE RD.
NOVI, MI 48377

BRAND FRANCHISE:

INTERCONTINENTAL HOTELS GROUP
THREE RAVINIA DRIVE, SUITE 100
ATLANTA, GA 30346

ARCHITECT/ ENGINEERS OF RECORD:

BUD DESIGN & ENGINEERING SERVICES, INC.
10775 S. SAGINAW STREET, SUITE "B" GRAND BLANC, MI 48439
PH (810) 695-0793
FAX (810)695-0569

CIVIL ENGINEER

BUD DESIGN & ENGINEERING SERVICES, INC.
10775 S. SAGINAW STREET, SUITE "B" GRAND BLANC, MI 48439
PH (810) 695-0793
FAX (810)695-0569

STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL ENGINEERS:

D&M SITE INC.
401 BALSAM STREET
P.O. BOX 159
CARROLLTON, MI 48724
(989) 752-6500

INTERIOR DESIGN:

BUD DESIGN & ENGINEERING SERVICES, INC.
10775 S. SAGINAW STREET, SUITE "B" GRAND BLANC, MI 48439
PH (810) 695-0793
FAX (810)695-0569

SUMMARY TABLE:

SITE DATA

SITE AREA: 3 ACRES
MIN. RE.: 3.25 ACRES (141,570 SF)
PROVIDED:

ZONING: 1A (LIGHT INDUSTRIAL)
EXISTING: MIXED-USE DEVELOPMENT PER ZON. ORD. SECTION 98-541

USE: HOTEL

SETBACKS

	REQUIRED	PROVIDED
FRONT (WEST)	50.0'	163.7'
SIDE (NORTH)	30.0'	78.5'
SIDE (SOUTH)	30.0'	68.0'
REAR (EAST)	30.0'	49.0'

PARKING DATA

REQUIRED
1 PARKING SPACE PER ROOM x 92 ROOMS= 90 SPACES
+ ONE FOR EACH EMPLOYEE ON LARGEST WORK SHIFT= 5 SPACES
TOTAL 95 SPACES

PROVIDED 97 SPACES
W/ 4 BARRIER FREE INCLUDING 1 VAN ACCESSIBLE SPACE

W/ 5 BARRIER FREE INCLUDING 2 VAN ACCESSIBLE SPACE

BUILDING DATA

PROVIDED=
GROSS BUILDING AREA 20,363 SF
1ST FLOOR AREA (A-2, A-3, B, R-2) 17,799 SF
2ND FLOOR AREA (R-2) 17,748 SF
3RD FLOOR AREA (R-2)
TOTAL 55,910 SF

BUILDING HEIGHT ZONING ORDINANCE BUILDING CODE
ALLOWABLE 45'-0" / 3 STORIES 70'-0" / 4 STORIES (W/ NFPA 13 FIRE SUPPRESSION)
PROPOSED 43'-9" +/- (3 STORIES) 43'-9" +/- (3 STORIES)

Level	A	A1	A2-ACC	B	B1-ACC	B2-ACC	C	C1-ACC	D	D1	TOTAL
Level 1	10	4	1	5	1			1	1	1	22
Level 2	14	5	1	9	1			1	1	1	34
Level 3	14	6		8				4		2	34
Subtotal	38	15	2	22	1	1	5	1	4	1	90

** (2) FUTURE GUESTROOMS LOCATED AT FIRST FLOOR; 'A' AND 'C' UNIT TYPES

ACCESSIBLE UNITS (MOBILITY IMPAIRED)

REQUIRED
WITHOUT ROLL-IN SHOWERS= 4
WITH ROLL-IN SHOWERS= 1
TOTAL= 5

PROVIDED
WITHOUT ROLL-IN SHOWERS= 4
WITH ROLL-IN SHOWERS= 1
TOTAL= 5

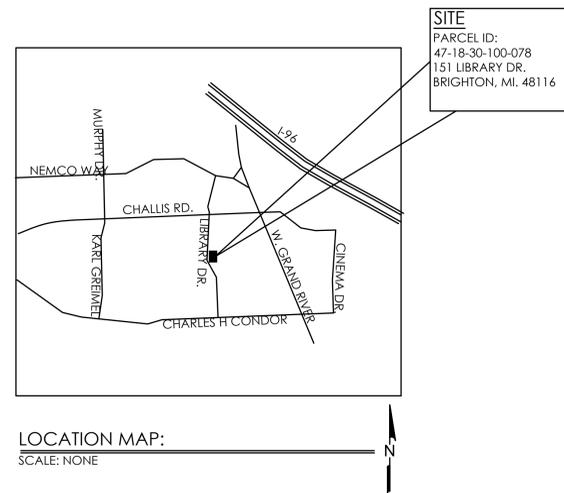
ACCESSIBLE UNITS (HEARING/ VISUALLY IMPAIRED)

REQUIRED= 9
PROVIDED= 9

**ALL NON-ACCESSIBLE UNITS ARE TO BE TYPE 'B' ACCESSIBLE UNITS= 87 ROOMS

CONNECTING ROOMS OPTION 1

Level	Count
Level 1	2
Level 2	2
Level 3	2
TOTAL	6



LOCATION MAP:
SCALE: NONE

CODE DATA

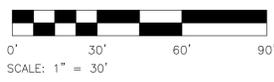
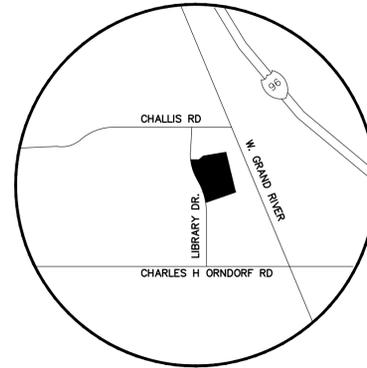
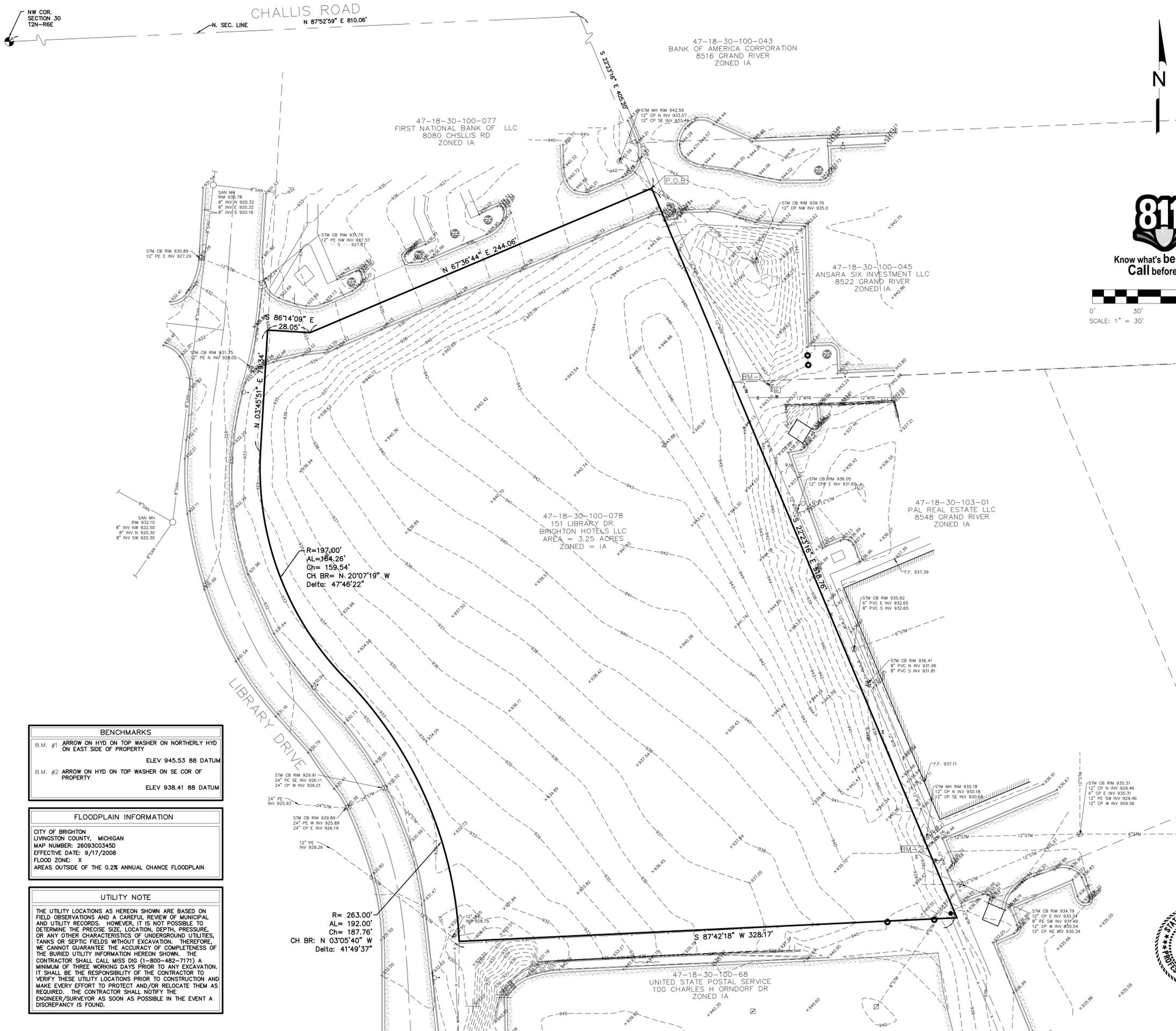
BUILDING CODE
USE GROUP
CONSTRUCTION TYPE

MICHIGAN BUILDING CODE 2012
MIXED USE, SEPARATED; A-2, A-3, B, R-2
VA
(FULLY SUPPRESSED PER NFPA 13)

ISSUED FOR	DATE
OWNER REV.	02.22.16
OWNER REV.	02.26.16
OWNER REV.	05.09.16
PRE-BRAND REV.	05.11.16
SITE PLAN REV.	08.03.16
SITE PLAN	09.07.16

DRAWN :
CHECKED :
SCALE : AS INDICATED
JOB NO : BD-15-322

SHEET TITLE :	SHEET
COVER SHEET	A000



LEGEND	
	MONUMENT / SECTION CORNER
	FOUND PROPERTY IRON
	SET PROPERTY IRON
	EXISTING CATCHBASIN
	EXISTING MANHOLE/CATCHBASIN
	EXISTING HYDRANT
	EXISTING VALVE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATERMAIN
	EXISTING FENCE LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING UNDERGROUND GAS LINE
	EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING CENTERLINE
	EXISTING OVERHEAD ELECTRICAL WIRES
	EXISTING MAILBOX / NEWSPAPER BOX
	EXISTING SIGN
	EXISTING DECIDUOUS TREES
	EXISTING CONIFEROUS TREES
	EXISTING UTILITY POWER POLE
	EXISTING TELEPHONE RISER

TAX LEGAL DESCRIPTION	
SEC 30 T2N R6E COMM NW COR OF SEC, TH N87°52'59"E 810.06 FT ALG N LINE OF SEC, TH S22°23'16"E 405.20 FT TO POB, TH S22°23'16"E 518.76 FT, TH S87°42'18"W 328.17 FT, TH 192 FT ALG ARC OF A CURVE, CHORD BEARING N23°05'40"W 187.76 FT, TH ALG ARC OF CURVE, CHORD BEARING N20°07'19"W 159.54 FT, TH N03°45'51"E 79.34 FT, TH S86°14'09"E 28.05 FT, TH N67°36'44"E 244.06 FT TO POB. SUBJECT TO & INCLUDING THE USE OF A 40 FT PRIVATE EASEMENT FOR INGRESS & EGRESS, CONT. 3.24 ACRES, SPLIT 1/92 FROM 062; SPLIT 1/95 FR 067, SPLIT ON 02/22/1999 FROM 18 30 100 070; DDA	

UTILITY CONTACTS	
TELEPHONE	GAS AND ELECTRIC
N/A	N/A

ZONING	WATER/SEWER
CITY OF BRIGHTON ZONING & PLANNING 200 N. 1st STREET BRIGHTON, MICHIGAN 48116 (810) 227-1911	CITY OF BRIGHTON UTILITIES DEP 7377 CHALLIS RD BRIGHTON, MICHIGAN 48116 (810) 227-2968

ZONING INFORMATION	
ZONED - IA (LIGHT INDUSTRIAL)	
SETRACKS:	
FRONT: - 30'	
REAR: - 20'	
SIDE: -	

CERTIFICATION	
I, BRIAN D FERGUSON A PROFESSIONAL SURVEYOR, BEING DULY LICENSED BY THE STATE OF MICHIGAN, DO HEREBY CERTIFY THAT I HAVE CAUSED THE PROPERTY HEREON SHOWN, TO BE SURVEYED AND MAPPED IN ACCORDANCE WITH ALL LOCAL AND STATE ACCEPTED PRACTICES FOR THE ACCURACY OF A SURVEY OF THIS TYPE. I ALSO CERTIFY THAT THE EXISTING CONDITIONS OF THE PROPERTY ARE AS SHOWN HEREON.	
	01/12/16
BRIAN D FERGUSON, P.E. 26454	DATE



SURVEY PROVIDED BY:
D&M SITE INC.
 Surveying, Inspection, Testing, Engineering
 401 BALSAM STREET PO BOX 159, CARROLLTON, MICHIGAN 48724
 PHONE (989) 752-6500 • FAX (989) 752-6600

bud design
 Bud Design & Engineering Services, Inc.
 Architecture | Engineering | Interior Design
 10775 S. Saginaw St., Suite B
 Grand Blanc, MI 48439
 (PH) 810.695.0793
 (FAX) 810.695.0569
 Web: www.buddesign.com

CANDLEWOOD SUITES
LIBRARY DRIVE
CITY OF BRIGHTON, LIVINGSTON CO, MI

CANDLEWOOD SUITES

THIS SITE PLAN HAS BEEN MADE BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED PROFESSIONAL SURVEYOR IN THE STATE OF MICHIGAN. I HAVE CAUSED THE PROPERTY HEREON SHOWN, TO BE SURVEYED AND MAPPED IN ACCORDANCE WITH ALL LOCAL AND STATE ACCEPTED PRACTICES FOR THE ACCURACY OF A SURVEY OF THIS TYPE. I ALSO CERTIFY THAT THE EXISTING CONDITIONS OF THE PROPERTY ARE AS SHOWN HEREON.

ISSUED FOR	DATE
SITE PLAN REV.	08/03/16
SITE PLAN REV.	09/07/16

DATE:	
DRAWN BY:	JDT
CHECKED BY:	ACA
SCALE:	1"=30'
JOB NO.:	BD-15-922
SHEET TITLE:	SURVEY PLAN
SHEET	

C2.0

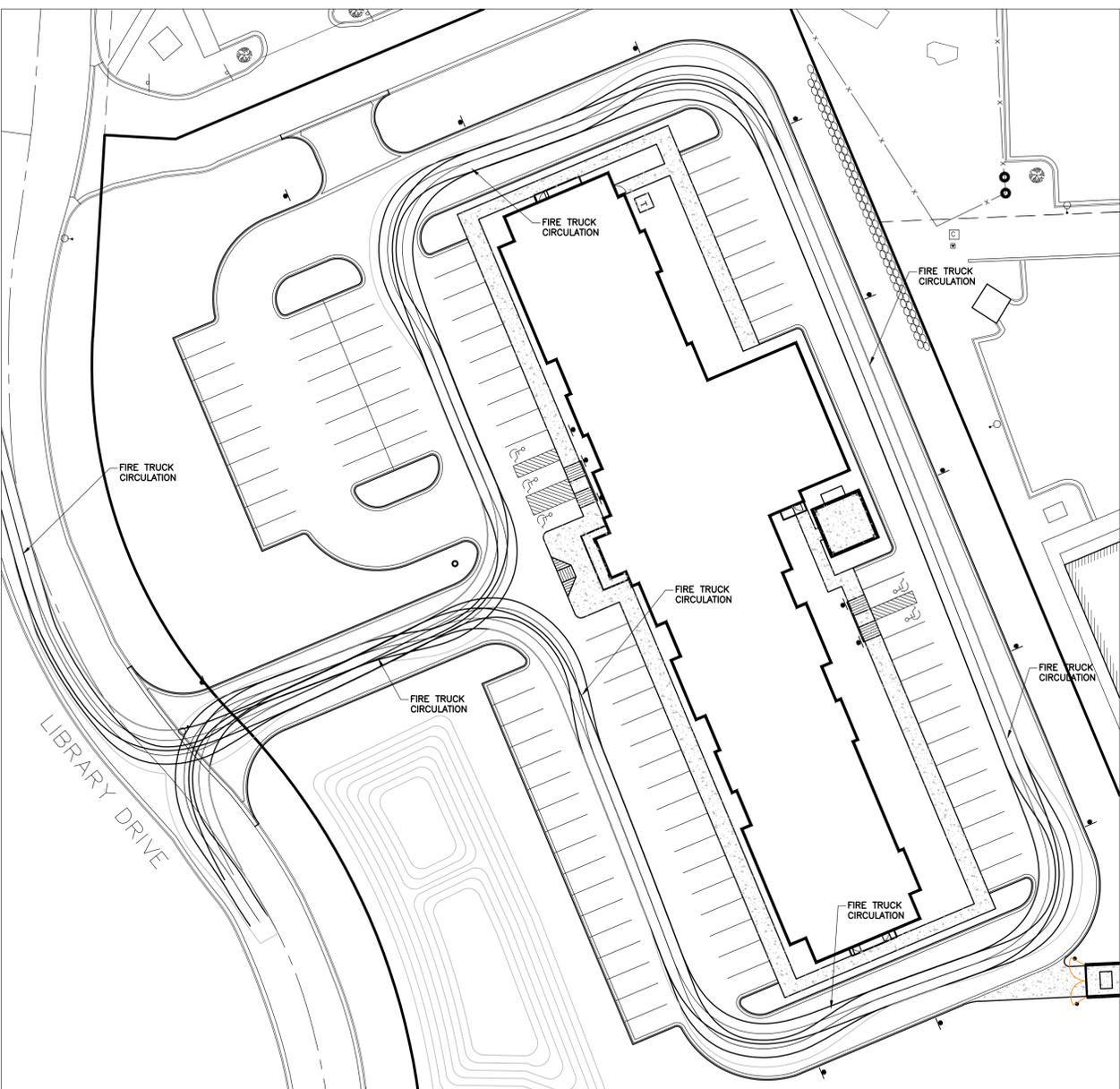
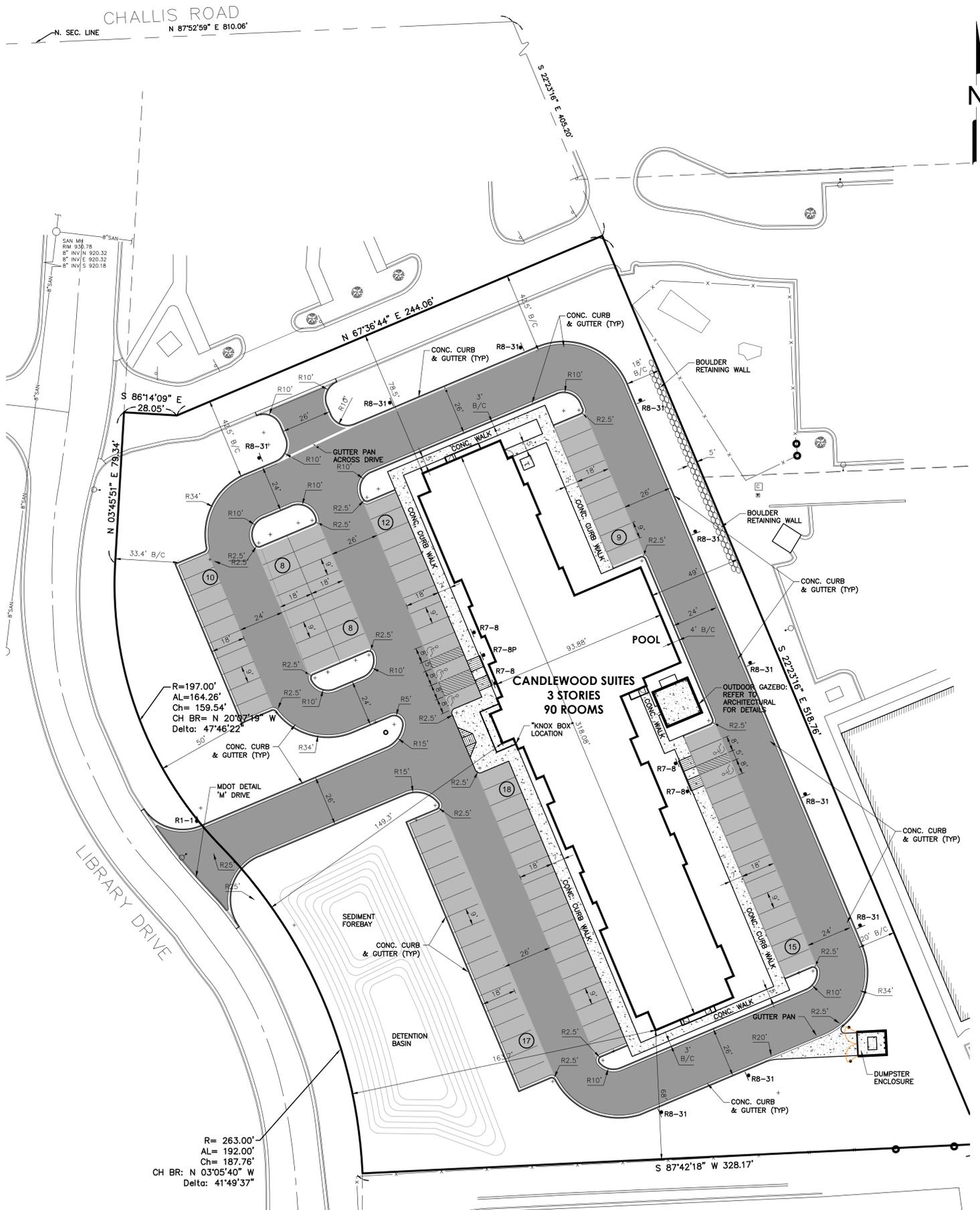
BENCHMARKS	
B.M. #1	ARROW ON HYD ON TOP WASHER ON NORTHERLY HYD ON EAST SIDE OF PROPERTY ELEV 945.53 88 DATUM
B.M. #2	ARROW ON HYD ON TOP WASHER ON SE COR OF PROPERTY ELEV 938.41 88 DATUM

FLOODPLAIN INFORMATION	
CITY OF BRIGHTON LIVINGSTON COUNTY, MICHIGAN MAP NUMBER: 26093C0345D EFFECTIVE DATE: 9/17/2008 FLOOD ZONE: X AREAS OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN	

UTILITY NOTE

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE SIZE, LOCATION, DEPTH, PRESSURE, OR ANY OTHER CHARACTERISTICS OF UNDERGROUND UTILITIES, TANKS OR SEPTIC FIELDS WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OF COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL MISS DIG (1-800-482-7171) A MINIMUM OF THREE WORKING DAYS PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND MAKE EVERY EFFORT TO PROTECT AND/OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND.

R= 263.00'
 AL= 192.00'
 Ch= 187.76'
 CH BR= N 03°05'40" W
 Delta: 41°49'37"



GENERAL NOTES

- REFER TO ARCHITECTURAL PLANS TO VERIFY BUILDING DIMENSIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS AND POST ALL BONDS PRIOR TO CONSTRUCTION, OR ENSURE THAT ALL REQUIRED PERMITS AND BONDS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING MISS-DIG AT 1-800-482-7171 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED WITH LIKE MATERIAL. THE EXACT LOCATION OF EXISTING UTILITIES SHALL BE LOCATED BY HAND DIGGING.
- DIMENSIONS ARE TO FACE OF CURB, OUTSIDE FACE OF BUILDING, EDGE OF PAVEMENT, CENTER OF STRUCTURE OR OTHERWISE INDICATED.
- ALL PAVING MATERIALS AND OPERATIONS SHALL BE IN CONFORMANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- PARKING STALL SPACES TO BE 4" SOLID WHITE PAINT STRIPES. HANDICAP PARKING TO BE 4" SOLID BLUE PAINT STRIPES W/ BARRIER FREE STRIPPING OF 4" SOLID BLUE @ 2' O.C. ON 45° ANGLE.
- ALL WORKMANSHIP, DESIGN, CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF BRIGHTON ENGINEERING DESIGN STANDARDS, LATEST EDITION.
- ACCESS DRIVES SHALL REMAIN CLEAR OF OBSTACLES AND WILL BE MAINTAINED AND PLOWED DURING THE WINTER.

SITE INFORMATION

PROPERTY:
47-18-30-100-078
AREA = 3.25-ACRES (GROSS)

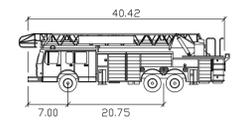
ZONING:
I-A

PARKING DATA:
REQUIRED
HOTEL
1 SPACE PER OCCUPANCY UNIT (ROOM) + 1 SPACE PER EMPLOYEE
ROOMS = 90
EMPLOYEES = 5
OVERALL REQUIRED = 95 SPACES
(ADA REQUIREMENT FOR 95 TOTAL SPACES IS 3 ACCESSIBLE)

PROVIDED
ACCESSIBLE SPACES = 5
STANDARD SPACES = 92
TOTAL = 97 SPACES

FIRE DEPARTMENT NOTES

- DUE TO THE HEIGHT AND OVERALL LENGTH OF THE STRUCTURE, CLASS I STANDPIPES ARE REQUIRED TO BE INSTALLED AT EACH INTERMEDIATE LANDING LEVEL OF THE EGRESS STAIRWELLS LOCATED AT THE ENDS OF THE BUILDING.
- THE BUILDING ADDRESS SHALL BE A MINIMUM OF 6-INCH HIGH LETTERS OF CONTRASTING COLORS AND BE CLEARLY VISIBLE FROM THE STREET. THE LOCATION AND SIZE SHALL BE VERIFIED PRIOR TO INSTALLATION.
- THE "KNOX BOX" LOCATION IS INDICATED ON THE PLAN ADJACENT TO THE FRONT ENTRANCE AND SHALL BE COORDINATED WITH THE FIRE DEPARTMENT FOR FINAL PLACEMENT PRIOR TO INSTALLATION.



FIRE TRUCK

Width : 8.00
Track : 8.00
Lock to Lock Time : 6.00
Steering Angle : 33.00

FIRE TRUCK

PAVEMENT INFORMATION

[Symbol]	STANDARD BITUMINOUS PAVEMENT
[Symbol]	HEAVY-DUTY BITUMINOUS PAVEMENT
[Symbol]	CONCRETE PAVEMENT

TRAFFIC CONTROL SIGN TABLE

DESCRIPTION	MMUTCD
HANDICAP	R7-8
HANDICAP (VAN)	R7-8P
STOP SIGN	R1-1
NO PARKING FIRE LANE	R8-31

ALL TRAFFIC SIGNAGE SHALL COMPLY WITH THE CURRENT MMUTCD STANDARDS

THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.



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Web: www.buddesign.com

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CITY OF BRIGHTON, LIVINGSTON CO, MI



THIS SET OF PLANS HAS BEEN PREPARED BY BUD DESIGN & ENGINEERING SERVICES, INC. (BDES) FOR THE PROJECT DESCRIBED ABOVE. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING MISS-DIG AT 1-800-482-7171 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED WITH LIKE MATERIAL. THE EXACT LOCATION OF EXISTING UTILITIES SHALL BE LOCATED BY HAND DIGGING. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING MISS-DIG AT 1-800-482-7171 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS AND POST ALL BONDS PRIOR TO CONSTRUCTION, OR ENSURE THAT ALL REQUIRED PERMITS AND BONDS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. DIMENSIONS ARE TO FACE OF CURB, OUTSIDE FACE OF BUILDING, EDGE OF PAVEMENT, CENTER OF STRUCTURE OR OTHERWISE INDICATED. ALL PAVING MATERIALS AND OPERATIONS SHALL BE IN CONFORMANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION. PARKING STALL SPACES TO BE 4" SOLID WHITE PAINT STRIPES. HANDICAP PARKING TO BE 4" SOLID BLUE PAINT STRIPES W/ BARRIER FREE STRIPPING OF 4" SOLID BLUE @ 2' O.C. ON 45° ANGLE. ALL WORKMANSHIP, DESIGN, CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF BRIGHTON ENGINEERING DESIGN STANDARDS, LATEST EDITION. ACCESS DRIVES SHALL REMAIN CLEAR OF OBSTACLES AND WILL BE MAINTAINED AND PLOWED DURING THE WINTER. THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.

ISSUED FOR PRE BRAND REV. 05.11.16
DATE 08/03/16
SITE PLAN REV. 08/03/16
SITE PLAN REV. 09/07/16

DATE	DESCRIPTION

DATE
DRAWN : JDT
CHECKED : ACA
SCALE : 1"=30'
JOB NO. : BD-15-322
SHEET TITLE :
SITE LAYOUT AND PAVING PLAN SHEET

C3.0



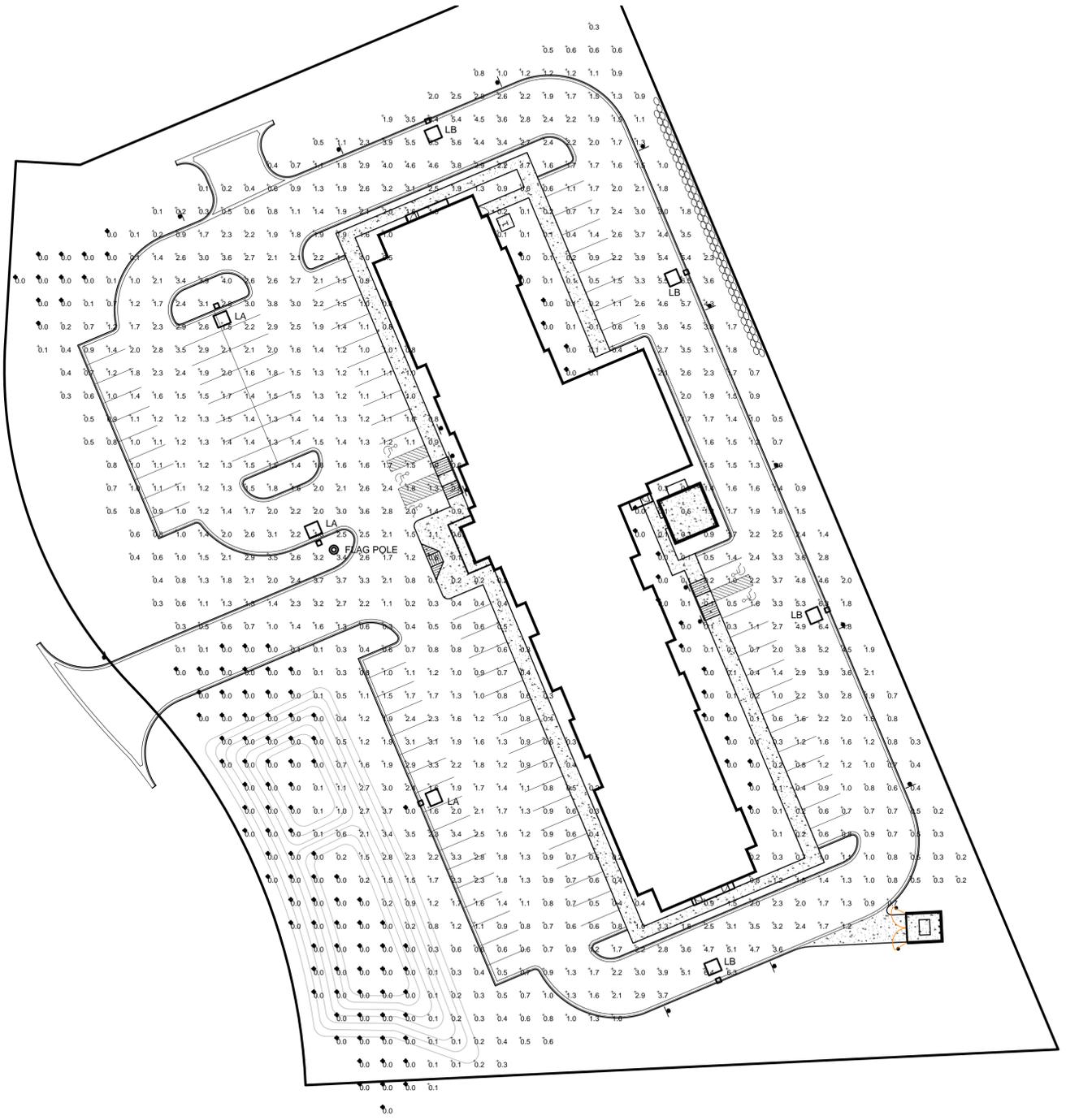
PROJECT:	
LOCATION:	
CAD No:	
TYPE:	
CITY:	
DATE:	

Philips Gardco EcoForm LED luminaire combines economy with performance. Capable of delivering up to 20,000 lumens or more in a compact, low profile housing, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems, including motion response and wireless controls are available for further energy savings during off peak hours.

Ordering guide example: ECF-APD-MRO-1-4-75LA-NW-120-NP-LF

Start	Control	Mounting	Optical System	Wattage	Clear Temp	Wattage	Finish	Options
ECF	ECF	Standard luminaire (down look)	1 Standard	510 mA	120	BRP	Black Paint	TL Tool (see entry and other internal hardware)
ECF	ECF	9-20' (arming)	2 Type 2	55LA-325F	120V	BLP	Black Paint	TP1 Internal Black
ECF	ECF	APD	3 Type 3	75LA-485J	1000K	BLP	Black Paint	TP1 Internal Black
ECF	ECF	APD-MRO	4 Type 4	700mA	240	WP	White Paint	LF1 Low Fusing
ECF	ECF	APD-MRO	5 Type 5	75LA-327A	277	NP	Neutral Paint	LF2 Low Fusing for Canada
ECF	ECF	APD-MRO		105LA-487D	1000V	PC1**	Phoscoat	PC1** Phoscoat with Phoscoat (Includes PC1S)
ECF	ECF	APD-MRO		105LA-487D	277V	OC	Optional Color	PC2** Phoscoat Phoscoat only with 2 wiring connectors
ECF	ECF	APD-MRO		215LA-641A	480V	SC	Special color	PC3** Phoscoat Phoscoat only with 2 wiring and 2 auxiliary connectors
ECF	ECF	APD-MRO		215LA-641A	1000V	RAM	Special color	PC4** Phoscoat Phoscoat only with 2 wiring and 2 auxiliary connectors
ECF	ECF	APD-MRO		215LA-641A	1000V	PTF2*	Special color	PTF2* Pole Top Flange for 3" P-3" Pole
ECF	ECF	APD-MRO		215LA-641A	1000V	PTF3*	Special color	PTF3* Pole Top Flange for 3" P-3" Pole
ECF	ECF	APD-MRO		215LA-641A	1000V	PTF4*	Special color	PTF4* Pole Top Flange for 3" P-3" Pole
ECF	ECF	APD-MRO		215LA-641A	1000V	RD	Special color	RD Round Pole Adapter for P-3" P-3" Pole

1. Available in 120V, 277V Voltages only (120V, 277V, 1000V, 1000V)
2. MRO and APD MRO luminaires require one motion sensor per luminaire (see page 7 for accessories)
3. ECF-MRO requires outdoor sensor when used with 3" pole (see page 7 for more info)
4. ECF-MRO requires outdoor sensor when used with 3" pole (see page 7 for more info)
5. Contact factory for lead times on warm white
6. Not compatible with 100V (60Hz)
7. Not compatible with 100V (60Hz) voltage
8. Not compatible with 100V (60Hz) voltage
9. Works with 3" pole (see page 7 for more info)
10. Works with 3" pole (see page 7 for more info)
11. Works with 3" pole (see page 7 for more info)
12. Not compatible with 3" pole (see page 7 for more info)

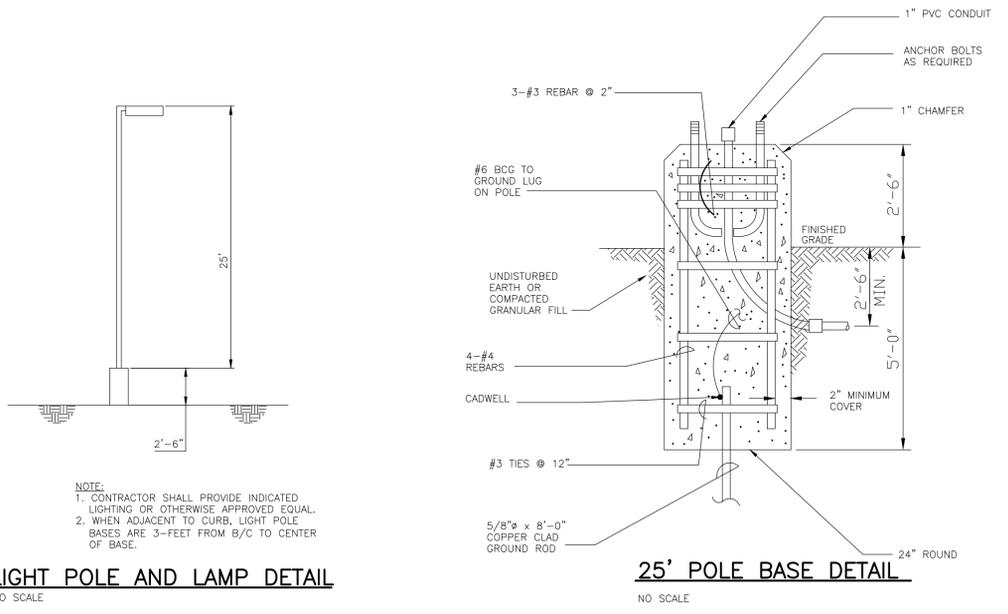


SITE LIGHTING GROUND LEVEL
SCALE: 1"=30'

AVERAGE	MAXIMUM	MINIMUM
1.3 FC	6.3 FC	0.0 FC

LA	LED AREA LIGHT	PHILIPS GARDCO	ECF-3-215LA-641A-NW-UNV-NP WITH 30" SQUARE ALUMINUM POLE, SSS5-30-5-11-D1-NP-MSM	211W
LB	LED AREA LIGHT	PHILIPS GARDCO	ECF-2-215LA-641A-NW-UNV-NP WITH 30" SQUARE ALUMINUM POLE, SSS5-30-5-11-D1-NP-MSM	211W
LC	LED AREA LIGHT	PHILIPS GARDCO	ECF-5-215LA-641A-NW-UNV-NP WITH 30" SQUARE ALUMINUM POLE, SSS5-30-5-11-D1-NP-MSM	211W

NOTE: CONTRACTOR SHALL PROVIDE INDICATED LIGHTING OR OTHERWISE APPROVED EQUAL.



LIGHT POLE AND LAMP DETAIL
NO SCALE

25' POLE BASE DETAIL
NO SCALE

Bud Design & Engineering Services, Inc.
Architecture | Engineering | Interior Design
10775 S. Saginaw St., Suite B
Grand Blanc, MI 48439
(PH) 810.695.0793
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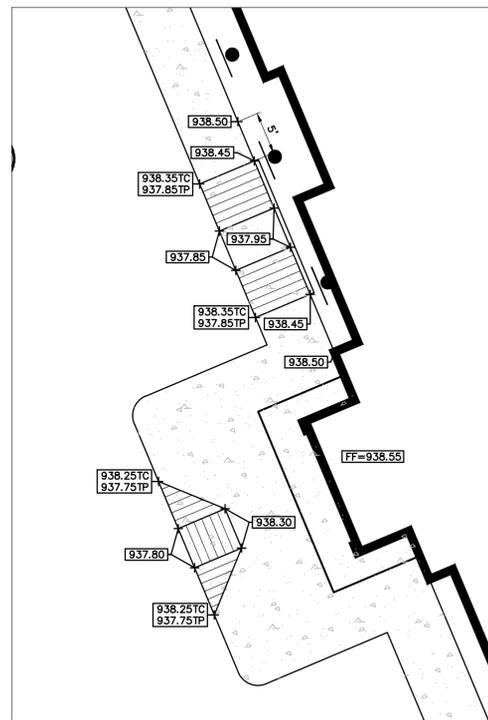
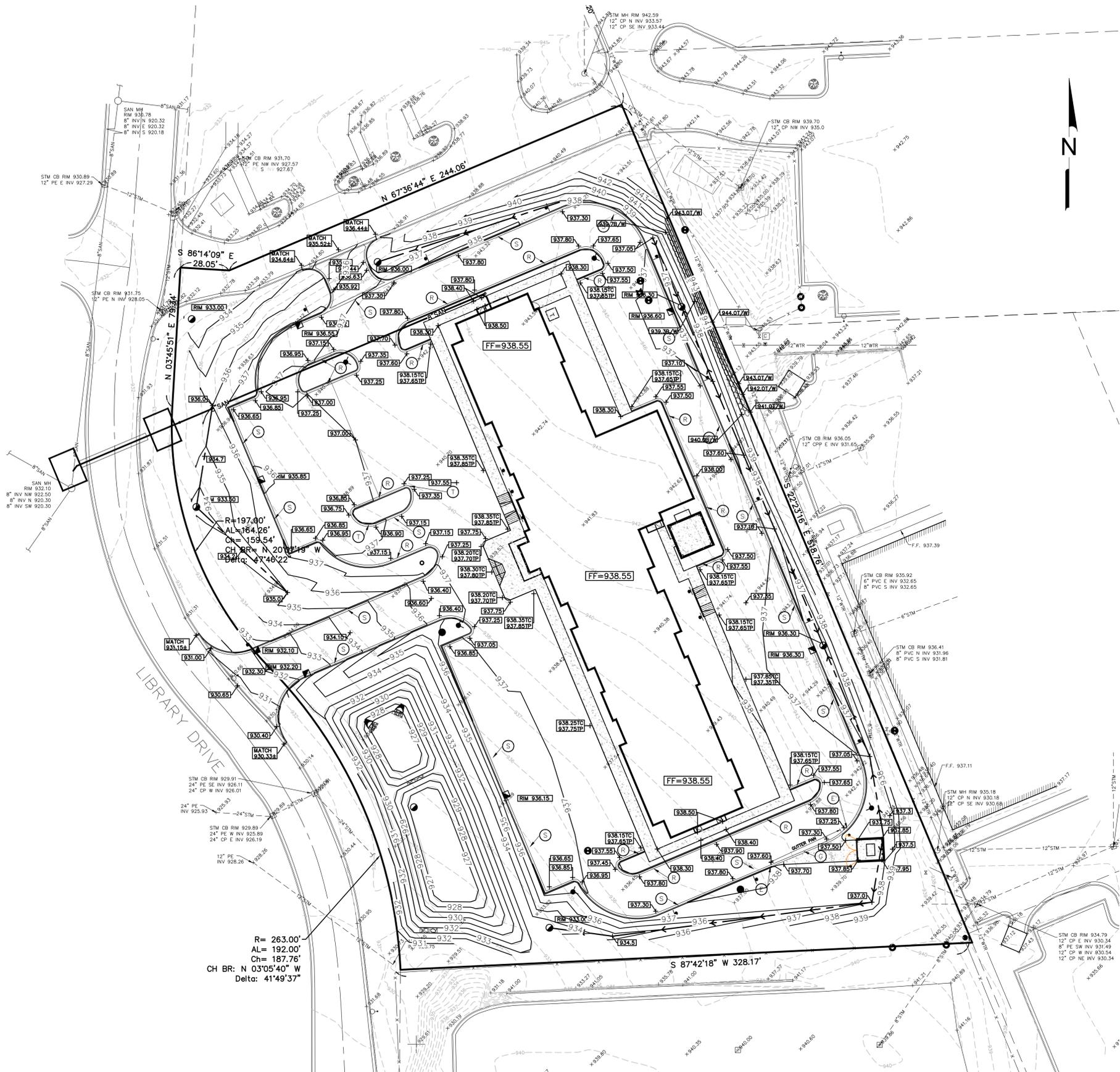


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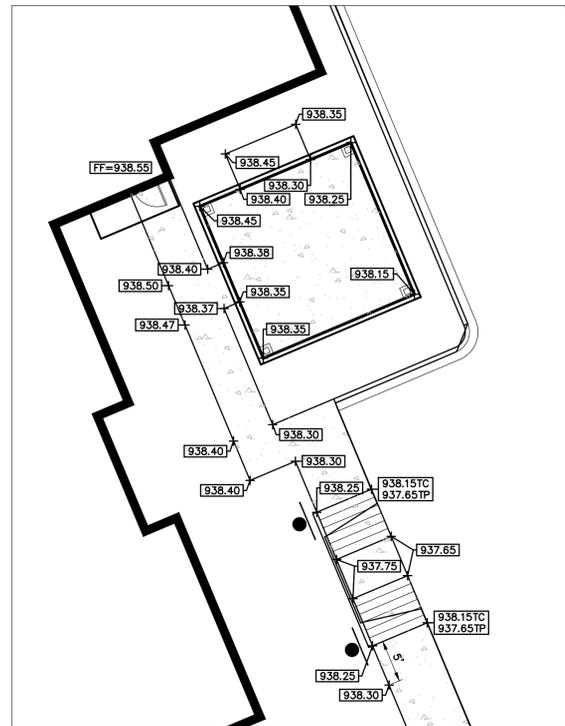
ISSUED FOR	DATE
SITE PLAN REV.	08/03/16
SITE PLAN REV.	09/07/16

DATE:	
DRAWN:	JDT
CHECKED:	ACA
SCALE:	AS SHOWN
JOB NO.:	BD-15-322
SHEET TITLE:	ELECTRICAL SITE LIGHTING
SHEET	

C3.1



ENLARGED GRADING - ENTRANCE
SCALE: 1" = 10'



ENLARGED GRADING - REAR
SCALE: 1" = 10'

GRADING NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BRIGHTON AND MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
- SPOT ELEVATIONS INDICATE TOP OF PAVEMENT UNLESS OTHERWISE INDICATED:
TO = TOP OF CURB
TP = TOP OF PAVEMENT
T/W = TOP OF WALL
B/W = BOTTOM OF WALL
- CURB AND GUTTER LEGEND
 - (S) = STANDARD CURB AND GUTTER
 - (R) = REVERSE SLOPE CURB AND GUTTER
 - (T) = 5' TRANSITION FROM STANDARD TO REVERSE
 - (E) = CURB END TRANSITION
 - (G) = GUTTER PAN
- REFER TO LANDSCAPE PLAN FOR LANDSCAPE TREATMENT AND PLACEMENT.

CITY OF BRIGHTON GRADING NOTES

- MAXIMUM SLOPE FOR NON-PAVED AREAS SHALL NOT EXCEED 3-FOOT HORIZONTAL TO 1-FOOT VERTICAL (3:1).

THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.

BENCHMARKS	
B.M. #1	ARROW ON HYD ON TOP WASHER ON NORTHERLY HYD ON EAST SIDE OF PROPERTY ELEV 945.53 88 DATUM
B.M. #2	ARROW ON HYD ON TOP WASHER ON SE COR OF PROPERTY ELEV 938.41 88 DATUM

811
Know what's below.
Call before you dig.

SCALE: 1" = 30'

be

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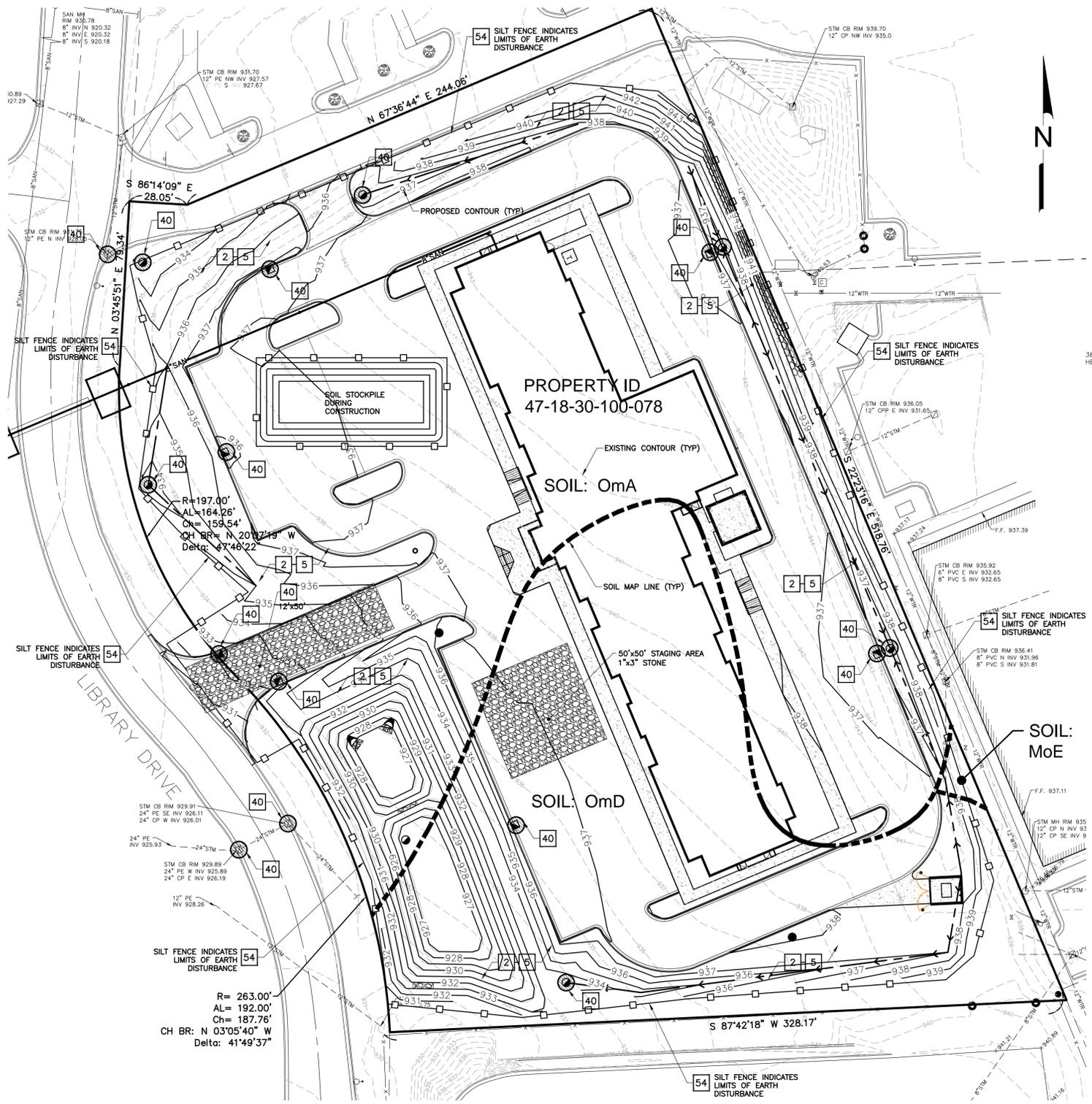


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ISSUED FOR	DATE
SITE PLAN REV.	08/03/16
SITE PLAN REV.	09/07/16

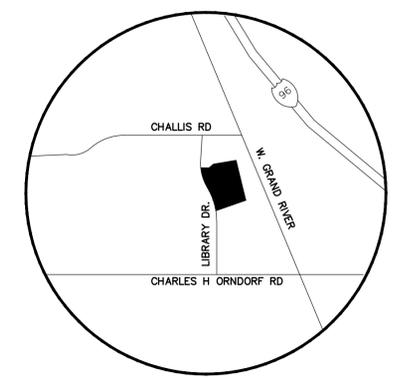
DATE	
DRAWN BY	JDT
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SCALE	T+30'
JOB NO.	BD-15-922
SHEET TITLE	GRADING PLAN
SHEET	

C4.0

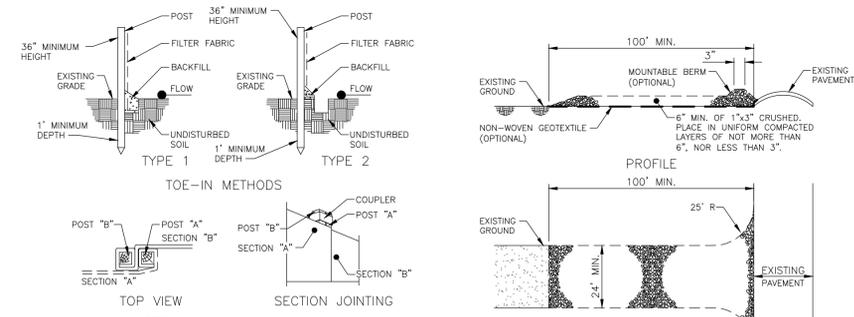


SOIL EROSION CONTROL MEASURES
 REFERENCE: MICHIGAN UNIFIED KEYING SYSTEM FOR EROSION AND SEDIMENT CONTROL MEASURES

2	SELECTIVE GRADING & SHAPING	WATER CAN BE DIVERTED TO MINIMIZE EROSION FLATTER SLOPES LAZE EROSION PROBLEMS
5	SEEDING	INEXPENSIVE AND VERY EFFECTIVE STABILIZES SOIL THIS MINIMIZING EROSION PERMITS RUNOFF TO INFILTRATE SOIL, REDUCING RUNOFF VOLUME SHOULD INCLUDE PREPARED TOPSOIL BED
14	AGGREGATE COVER	STABILIZES SOIL SURFACES, THIS MINIMIZING EROSION PERMITS CONSTRUCTION TRAFFIC IN ADVERSE WEATHER MAY BE USED AS PART OF PERMANENT BASE CONSTRUCTION OF PAVED AREAS
40	FILTER BAG	SILTSACK (TERRAFIX OR OTHERWISE APPROVED EQUAL) FILTER BAG FILTERS SEDIMENT FROM RUNOFF
54	SILT FENCE	USES GEOTEXTILE FABRIC AND POSTS OR POLES, EASY TO CONSTRUCT AND LOCATE AS NECESSARY.

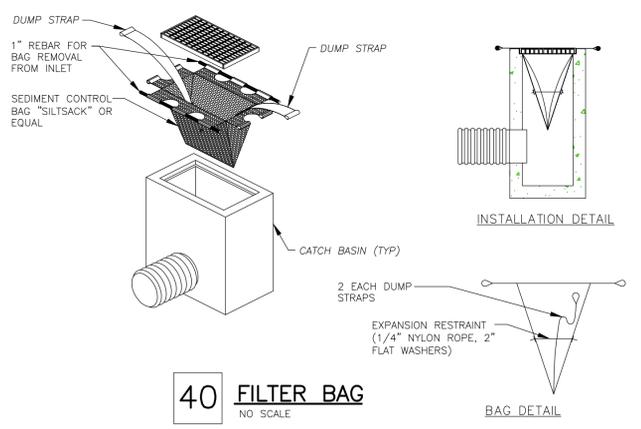


LOCATION MAP
NOT TO SCALE



54 SILT FENCE
NO SCALE

14 GRAVEL ACCESS DRIVE
NO SCALE



40 FILTER BAG
NO SCALE

SOIL EROSION & SEDIMENTATION CONTROL NOTES

- ALL EROSION SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE LIVINGSTON COUNTY DRAIN COMMISSIONER AND THE CITY OF BRIGHTON.
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR FOR EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES. ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
- EROSION AND ANY SEDIMENTATION FROM WORK ON THE SITE SHALL BE CONTAINED WITHIN THE WORK AREA AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, PONDS AND WETLANDS.
- THE CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS DIRECTED ON THESE PLANS AND WHERE OTHERWISE REQUIRED BY THE TOWNSHIP. THE CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER CHANGES HAVE BEEN ACCOMPLISHED.
- SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF DIRT OFF THE WORK AREA.
- THE CONTRACTOR SHALL PRESERVE OFF-SITE NATURAL VEGETATION AS MUCH AS POSSIBLE.
- PROTECT ALL EXISTING TREES, INCLUDING THEIR BRANCHES AND ROOTS, FROM DAMAGE DUE TO THIS WORK UNLESS SPECIFICALLY IDENTIFIED FOR REMOVAL.
- STABILIZATION OF ALL DISTURBED AREAS SHALL BE ESTABLISHED USING THE APPROPRIATE VEGETATION WITHIN 5 DAYS OF COMPLETION OF FINAL GRADING.
- THE CONTRACTOR SHALL SWEEP THE EXISTING STREETS SURROUNDING THE PROJECT SITE AS NEEDED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL AND SHALL PROVIDE ALL EQUIPMENT AND MATERIAL TO KEEP DUST IN CHECK AT ALL TIMES. THE CONTRACTOR SHALL RESPOND IMMEDIATELY TO ANY AND ALL COMPLAINTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NPDES PERMIT AND ENSURING COMPLIANCE WITH ALL APPLICABLE PERMIT REGULATIONS, INCLUDING BUT NOT LIMITED TO INSPECTION, RESTORATION AND RECORD KEEPING REQUIREMENTS. REPORTS FROM THE CERTIFIED STORM WATER OPERATOR SHALL BE MADE AVAILABLE TO THE TOWNSHIP.

MAINTENANCE NOTES

- SOIL STOCKPILES**
PERIODIC INSPECTIONS SHOULD BE DONE TO ENSURE EXCESSIVE EROSION HAS NOT OCCURRED. IF RUNOFF OR WIND EROSION HAS OCCURRED, REDUCE THE SIDE SLOPES OF THE SPOIL PILE, OR RE-STABILIZE THE STOCKPILE BY PROVIDING TEMPORARY SEEDING.
WHEN FILTER FENCING IS USED AROUND A SPOIL PILE, PERIODIC CHECKS SHOULD BE MADE TO ENSURE THAT PIPING HAS NOT OCCURRED UNDER THE FENCING, AND TO ENSURE THE FENCE HAS NOT COLLAPSED DUE TO SOIL SLIPPAGE OR ACCESS BY CONSTRUCTION EQUIPMENT. REPAIR ANY DAMAGED FENCING IMMEDIATELY.
BERMS AT THE BASE OF THE SPOIL PILE WHICH BECOME DAMAGED SHOULD BE REPLACED.
- DUST CONTROL**
TO PREVENT DUST FROM BECOMING A PUBLIC NUISANCE AND CAUSING OFF-SITE DAMAGES, DUST CONTROL SHOULD BE ONGOING DURING EARTH CHANGE ACTIVITIES.
- SILT FENCE**
SILT FENCE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
SILT FENCES SHOULD BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED RAINFALLS.
IF THE FENCE IS SAGGING OR THE SOIL HAS REACHED ONE HALF (1/2) THE HEIGHT OF THE FABRIC, THE SOIL BEHIND THE FABRIC MUST BE REMOVED AND DISPOSED OF IN A STABLE UPLAND SITE. THE SOIL CAN BE ADDED TO THE SOIL STOCKPILE.
IF THE FABRIC IS BEING UNDERCUT (I.E. IF WATER IS SEEPING UNDER THE FENCE), THE FENCE SHOULD BE REMOVED AND REINSTALLED FOLLOWING THE PROCEDURES GIVEN ABOVE.
FABRIC WHICH DECOMPOSES OR OTHERWISE BECOMES INEFFECTIVE SHOULD BE REMOVED AND REPLACED WITH NEW FILTER FABRIC IMMEDIATELY.
SILT FENCES SHOULD BE REMOVED ONCE VEGETATION IS WELL ESTABLISHED AND THE UP-SLOPE AREA IS FULLY STABILIZED.
- SEEDING**
NEWLY SEEDED AREAS NEED TO BE INSPECTED FREQUENTLY FOR THE FIRST FEW MONTHS TO ENSURE THE GRASS IS GROWING. IF THE SEEDED AREA IS DAMAGED DUE TO RUNOFF, ADDITIONAL STORMWATER MEASURES MAY BE NEEDED. SPOT SEEDED CAN BE DONE ON SMALL AREAS TO FILL IN BARE SPOTS WHERE GRASS DIDN'T GROW PROPERLY.
- MULCHING**
MULCHED AREAS SHOULD BE CHECKED FOLLOWING EACH RAIN TO ENSURE THE MULCH IS STAYING IN PLACE. ADDITIONAL TACKLING MATERIALS OR NETTING MAY NEED TO BE APPLIED TO HOLD THE MULCH IN PLACE.
- CONSTRUCTION ENTRANCE**
PROPER MAINTENANCE MAY INCLUDE ADDING ADDITIONAL LAYERS OF STONE WHEN THE ORIGINAL STONE BECOMES COVERED WITH MUD. AFTER EACH STORM EVENT, INSPECT THE ROAD FOR EROSION AND MAKE ANY NECESSARY REPAIRS. ALL SEDIMENT DROPPED OR ERODED ONTO PUBLIC RIGHTS-OF-WAY SHOULD BE REMOVED IMMEDIATELY BY SWEEPING.

SOIL EROSION & SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

CONSTRUCTION SEQUENCE	APR 2017	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN 2018	FEB	MAR	APR
TEMPORARY EROSION CONTROL MEASURES	█												
STRIP & STOCKPILE TOPSOIL / ROUGH GRADE	█												
STORM SEWER			█	█	█	█	█	█	█	█	█	█	█
FOUNDATION / BLDG. CONSTRUCTION													
SANITARY SEWER & WATER MAIN													
INSTALL ALL OTHER UTILITIES													
SITE CONSTRUCTION & PAVEMENT													
PERMANENT EROSION CONTROL MEASURES													
FINISH GRADING													
LANDSCAPING													

DISTURBED AREA = 2.95± ACRES

SEEDING, FERTILIZER AND MULCH BARE GROUND RATIO

THIS INFORMATION SHALL BE DETAILED ON THE CONSTRUCTION PLANS.
 TOP-SOIL 3" IN DEPTH
 GRASS SEED 217.84LBS PER ACRE
 FERTILIZER 150LBS PER ACRE
 STRAW MULCH 3" IN DEPTH (ALL MULCHING MUST HAVE A TIE DOWN (ASPHALT TACKIFIER, NET BINDING, ETC.)
 HYDRO-SEEDING IS NOT ACCEPTABLE FOR SLOPES EXCEEDING 1%, IN SUCH CASES STABILIZATION SHALL BE DONE WITH SEED AND STRAW MULCH WITH A TACKIFIER.

SOILS INFORMATION

MoE: MIAMI LOAM, 18 TO 25 PERCENT SLOPES
 OmA: OWOSSO-MIAMI SANDY LOAMS, 0 TO 2 PERCENT SLOPES
 OmD: OWOSSO-MIAMI SANDY LOAMS, 12 TO 18 PERCENT SLOPES
 USDA NRCS WEB SOIL SURVEY LIVINGSTON COUNTY, MICHIGAN (M1093)

PROPERTY OWNER

BRIGHTON HOTELS, LLC
 3000 TOWN CENTER
 SUITE 2222
 SOUTHFIELD, MI 48075

TYPE OF SEED	TEMPORARY SEEDING GUIDE							RATE OF APPLICATION PER/1000 S.F. PER ACRE	PER ACRE
	APRIL	MAY	JUNE	JULY	AUG.	SEPT.	OCT.		
SPRING OATS/BARLEY OR DOMESTIC RYEGRASS	█	█	█	█	█	█	█	2 LBS.	3 BU.
SUDANGRASS								1 LB.	30-40 LBS.
RYE OR PERENNIAL RYE								3 LB.	2-3 BU.
WHEAT								1/2 LB.	20-25 LBS.



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Bud Design & Engineering Services, Inc.
 Architecture | Engineering | Interior Design
 10775 S. Saginaw St., Suite B
 Grand Blanc, MI 48439
 (PH) 810.695.0793
 (FAX) 810.695.0569
 Web: www.buddesign.com

CANDLEWOOD SUITES
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CITY OF BRIGHTON, LIVINGSTON CO, MI



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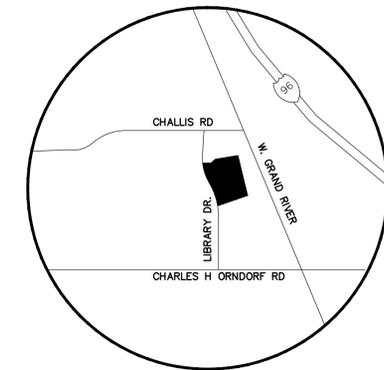
ISSUED FOR	DATE
SITE PLAN REV.	08/03/16
SITE PLAN REV.	09/07/16

DATE :
 DRAWN : JDT
 CHECKED : ACA
 SCALE : 1"=30'
 JOB NO : BD-15-922
 SHEET TITLE :
EROSION CONTROL PLAN
 SHEET

C4.1



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 Architecture | Engineering | Interior Design
 10775 S. Saginaw St., Suite B
 Grand Blanc, MI 48439
 (PH) 810.695.0793
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LOCATION MAP
NOT TO SCALE

CANDLEWOOD SUITES
 LIBRARY DRIVE
 CITY OF BRIGHTON, LIVINGSTON CO, MI



THE CITY OF BRIGHTON HAS BEEN ADVISED BY BUD DESIGN & ENGINEERING SERVICES, INC. THAT THE PROJECT IS SUBJECT TO THE CITY OF BRIGHTON'S STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BONDS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING MISS-DIG AT 1-800-482-7171 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED WITH LIKE MATERIAL. THE EXACT LOCATION OF EXISTING UTILITIES SHALL BE LOCATED BY HAND DIGGING. DIMENSIONS ARE TO FACE OF CURB, OUTSIDE FACE OF BUILDING, EDGE OF PAVEMENT, CENTER OF STRUCTURE OR OTHERWISE INDICATED. ALL WORK SHALL CONFORM TO THE CITY OF BRIGHTON STANDARDS AND SPECIFICATIONS.

ISSUED FOR	DATE
SITE PLAN REV.	08/03/16
SITE PLAN REV.	09/07/16

DATE	
DRAWN	JDT
CHECKED	ACA
SCALE	1"=30'
JOB NO.	BD-15-322
SHEET TITLE	UTILITY PLAN
SHEET	

C5.0

WATER BASIS OF DESIGN

USAGE	AREA	UNIT FACTOR
Hotel	92 rooms	0.38 units per room

POPULATION EQUIVALENT = 3.5 Persons per R.E.U.
 POPULATION = 122.4 Persons
 AVERAGE FLOW RATE = 100 Gallons per capita per day
 INITIAL DESIGN AVERAGE FLOW = 12,236.00 GPD = 0.01224 MGD
 PEAK FACTOR = 4
 TOTAL DESIGN MAXIMUM FLOW = 48,944.00 GPD = 0.04894 MGD

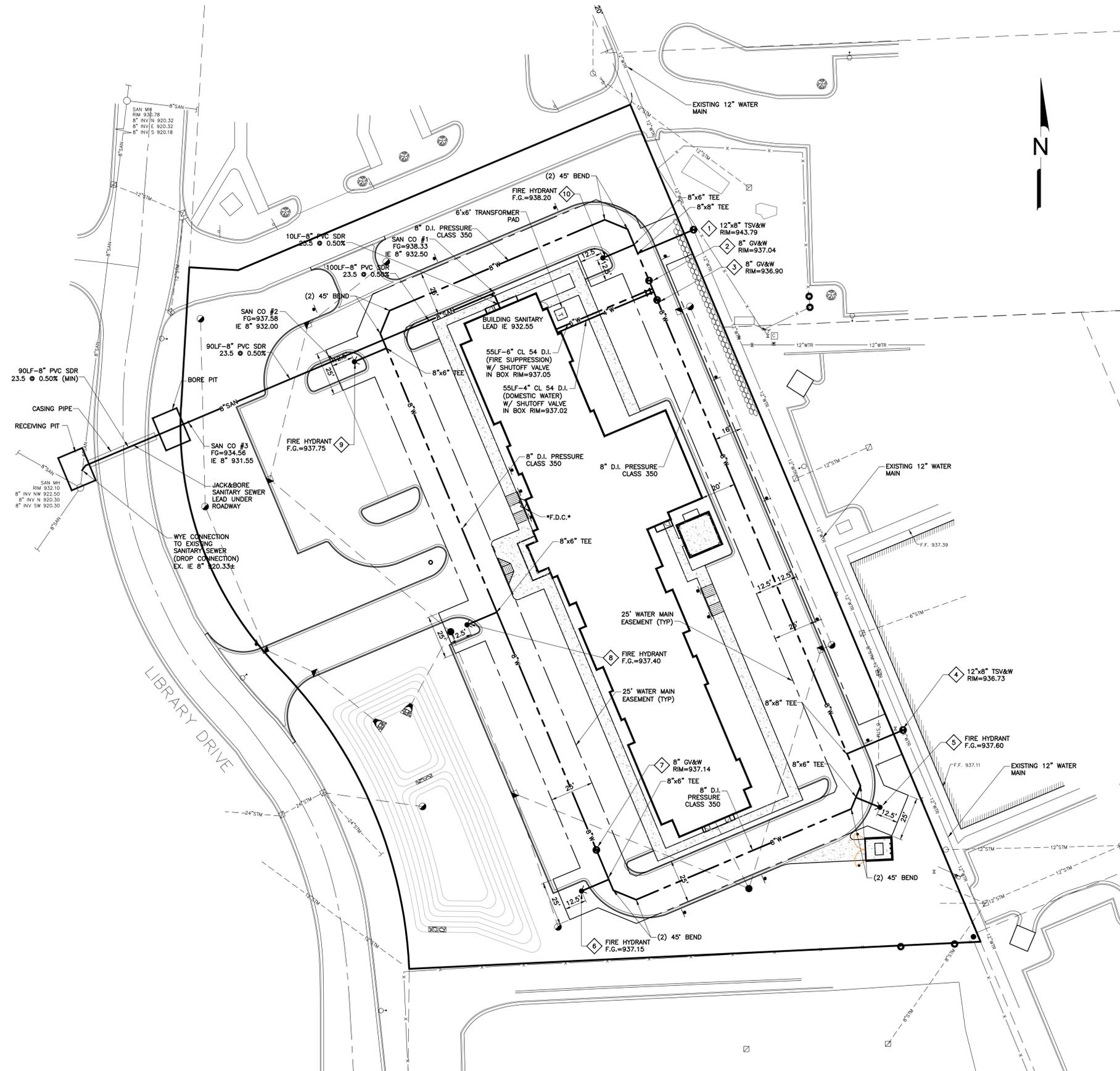
SANITARY BASIS OF DESIGN

USAGE	AREA	UNIT FACTOR	R.E.U.
Hotel	92 rooms	0.38 units per room	34.96

POPULATION EQUIVALENT = 3.15 Persons per R.E.U.
 POPULATION = 110.1 Persons
 AVERAGE FLOW RATE = 100 Gallons per capita per day
 AVERAGE FLOW = 11,012.40 GPD
 PEAK FACTOR = 18 + SQRT(P)/4 + SQRT(P) = 2.0
 PEAK FLOW = 21,849.48 GPD = 0.032 CFS @0.50%(cfs) = 1.11

GENERAL NOTES

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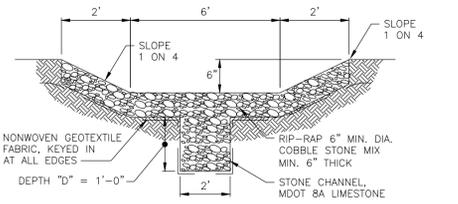
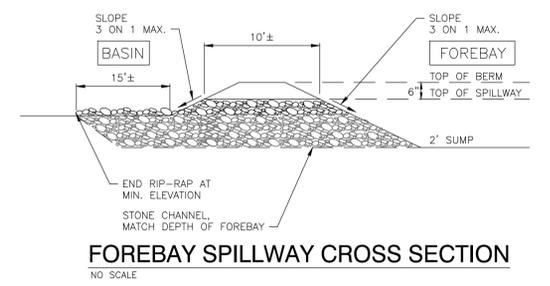
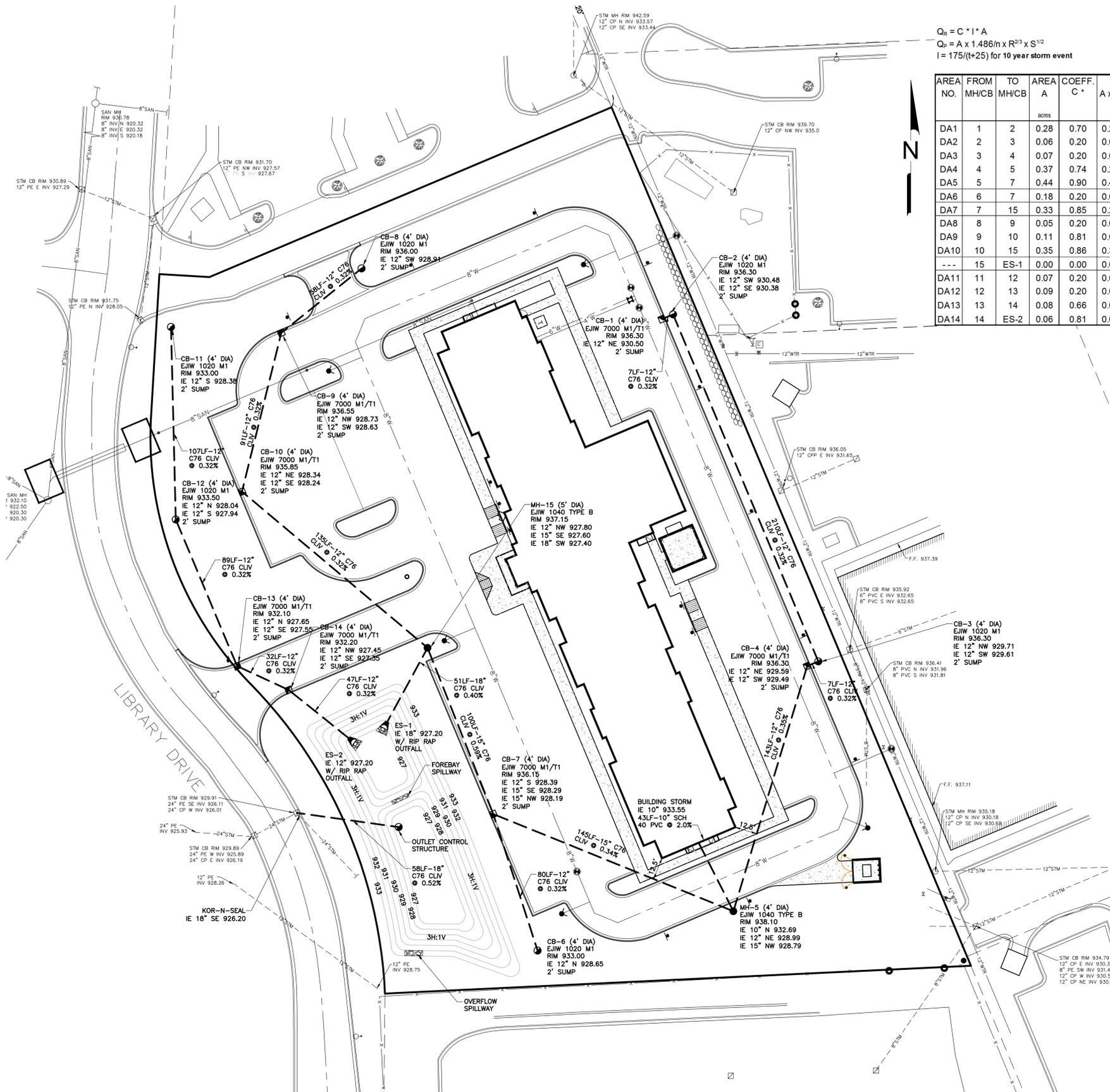
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STORM SEWER CALCULATIONS

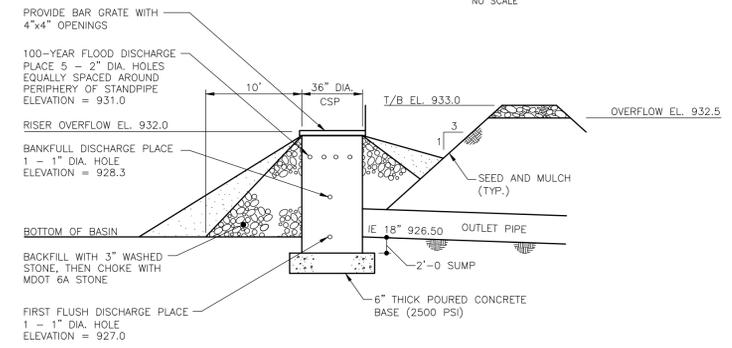
$Q_p = C \cdot I \cdot A$
 $Q_p = A \times 1.486/n \times R^{2.48} \times S^{0.48}$
 I = 175/(t+25) for 10 year storm event

(C imp = 0.90 / C perv = 0.20)

AREA NO.	FROM MH/CB	TO MH/CB	AREA ACRES	COEFF. C*	A x C	AREA TOTAL At ACRES	COEFF. Wt Cw	At x Cw	TIME t _c min.	INT. I in/hr	n	FLOW Q _p CFS	PIPE CAP. Q _p CFS	PIPE LENGTH ft	PIPE DIA. in.	PIPE SLOPE %	VEL. FULL ft/sec	TIME FLOW min.	RIM ELEV		H.G.L.		INVERT ELEV.	
																			HIGH	LOW	HIGH	LOW	HIGH	LOW
DA1	1	2	0.28	0.70	0.20	0.28	0.70	0.20	15.00	4.38	0.013	0.86	2.02	7	12	0.32%	2.57	0.05	936.30	936.30	932.58	932.55	930.50	930.48
DA2	2	3	0.06	0.20	0.01	0.34	0.61	0.21	15.05	4.37	0.013	0.92	2.02	210	12	0.32%	2.57	1.36	936.30	936.30	932.45	931.58	930.38	929.71
DA3	3	4	0.07	0.20	0.01	0.42	0.54	0.22	16.41	4.23	0.013	0.95	2.02	7	12	0.32%	2.57	0.05	936.30	936.30	931.49	931.46	929.61	929.59
DA4	4	5	0.37	0.74	0.27	0.79	0.63	0.50	16.45	4.22	0.013	2.10	2.11	143	12	0.35%	2.68	0.89	936.30	938.10	931.36	930.72	929.49	928.99
DA5	5	7	0.44	0.90	0.40	1.23	0.73	0.90	17.34	4.13	0.013	3.71	3.77	145	15	0.34%	3.07	0.79	938.10	936.15	930.52	929.92	928.79	928.29
DA6	6	7	0.18	0.20	0.04	0.18	0.20	0.04	15.00	4.38	0.013	0.16	2.02	80	12	0.32%	2.57	0.52	933.00	936.15	930.35	930.02	928.65	928.39
DA7	7	15	0.33	0.85	0.28	1.75	0.70	1.22	18.13	4.06	0.013	4.94	4.96	100	15	0.59%	4.04	0.41	936.15	937.40	929.82	929.13	928.19	927.60
DA8	8	9	0.05	0.20	0.01	0.05	0.20	0.01	15.00	4.38	0.013	0.05	2.02	58	12	0.32%	2.57	0.38	935.00	936.55	930.70	930.47	928.91	928.73
DA9	9	10	0.11	0.81	0.09	0.16	0.60	0.10	15.38	4.33	0.013	0.42	2.02	91	12	0.32%	2.57	0.59	936.55	935.85	930.37	929.99	928.63	928.34
DA10	10	15	0.35	0.86	0.30	0.51	0.78	0.39	15.97	4.27	0.013	1.68	2.02	135	12	0.32%	2.57	0.88	935.85	937.40	929.89	929.33	928.24	927.80
---	15	ES-1	0.00	0.00	0.00	2.26	0.71	1.61	18.54	4.02	0.013	6.47	6.64	51	18	0.40%	3.76	0.23	937.40	927.20	928.93	928.70	927.40	927.20
DA11	11	12	0.07	0.20	0.01	0.07	0.20	0.01	15.00	4.38	0.013	0.06	2.02	107	12	0.32%	2.57	0.69	933.00	933.50	928.63	928.19	928.38	928.04
DA12	12	13	0.09	0.20	0.02	0.16	0.20	0.03	15.69	4.30	0.013	0.14	2.02	89	12	0.32%	2.57	0.58	933.50	932.10	928.09	927.73	927.94	927.65
DA13	13	14	0.08	0.66	0.06	0.25	0.36	0.09	16.27	4.24	0.013	0.37	2.02	32	12	0.32%	2.57	0.21	932.10	932.20	927.63	927.49	927.55	927.45
DA14	14	ES-2	0.06	0.81	0.05	0.31	0.45	0.14	16.48	4.22	0.013	0.58	2.02	47	12	0.32%	2.57	0.31	932.20	927.20	927.39	927.20	927.35	927.20



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811
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0' 30' 60' 90'
 SCALE: 1" = 30'

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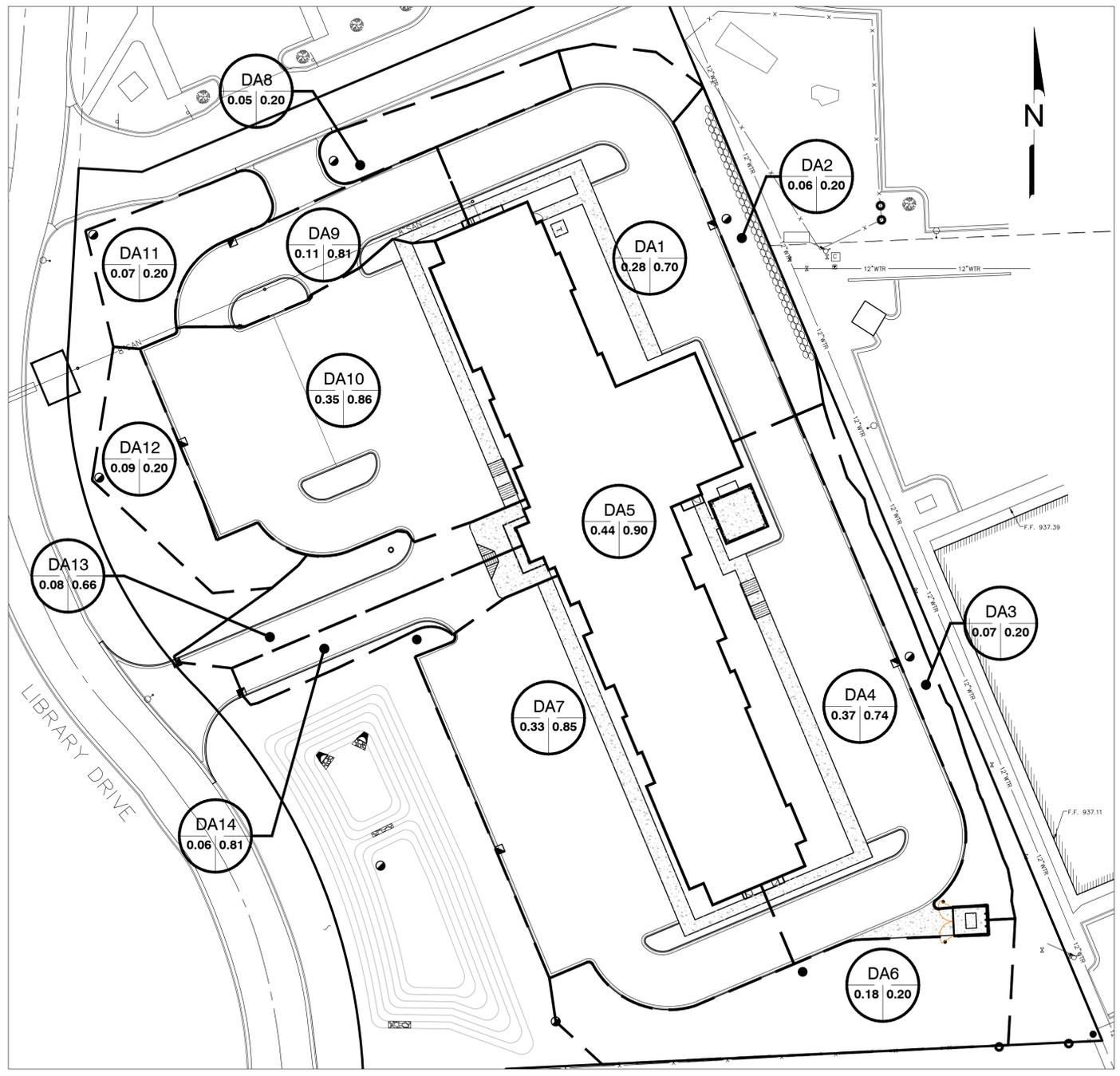


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DRAWN	JDT
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JOB NO.	BD-15-922
SHEET TITLE	STORM MANAGEMENT PLAN SHEET

C5.1



DRAINAGE AREA KEY

DISCHARGE CALCULATIONS

OUTLET STRUCTURE DISCHARGE PIPE CALCULATIONS								
OUTLET STRUCTURE	UNRESTRICTED 10-YEAR (cfs)	UPSTREAM INVERT	DOWNSTREAM INVERT	DISTANCE (LF)	SLOPE (%)	PIPE DIA (in)	PIPE CAP. (cfs)	ADQ. CAP.
Det Basin	7.05	926.50	926.20	58	0.52%	18	9.82	O.K.

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DRAINAGE AREAS

Drainage Area	Area Total (S.F.)	Pervious Area (S.F.)	Impervious Area (S.F.)	C Perv	C Imperv.	Area Total (acres)	Cw
DA1	12302.25	3525.83	8776.42	0.20	0.90	0.28	0.70
DA2	2587.16	2587.16	0.00	0.20	0.90	0.06	0.20
DA3	3230.87	3230.87	0.00	0.20	0.90	0.07	0.20
DA4	16203.82	3780.76	12423.06	0.20	0.90	0.37	0.74
DA5	19353.45	0.00	19353.45	0.20	0.90	0.44	0.90
DA6	7920.89	7920.89	0.00	0.20	0.90	0.18	0.20
DA7	14542.30	1101.40	13440.90	0.20	0.90	0.33	0.85
DA8	2362.23	2362.23	0.00	0.20	0.90	0.05	0.20
DA9	4625.98	604.77	4021.21	0.20	0.90	0.11	0.81
DA10	15103.48	954.37	14149.11	0.20	0.90	0.35	0.86
DA11	3214.65	3214.65	0.00	0.20	0.90	0.07	0.20
DA12	3771.40	3771.40	0.00	0.20	0.90	0.09	0.20
DA13	3702.47	1283.44	2419.03	0.20	0.90	0.08	0.66
DA14	2680.02	352.57	2327.45	0.20	0.90	0.06	0.81
EX DRIVE	4628.13	0.00	4628.13	0.20	0.90	0.11	0.90

REQUIRED DETENTION CALCULATIONS DETENTION CALCULATIONS

Tributary Area (A) = 3.24 acres
 Cw = 0.60
 Design Constant (K1) = A x Cw = 1.959
 Allowable Outfall (Qo) = 0.649 cfs (based on discharge of 0.20cfs/acre)

(1)	(2)	(3)	(4)	(5)	(6)	(7)
Duration (minutes)	Duration (seconds)	Intensity 100-year storm (Inches/Hour)	Col #2 x Col #3 (Inches)	Inflow Vol. Col #4 x K1 (Cu. Ft.)	Outflow Vol Col #2 x Qo (Cu. Ft.)	Storage Vol. Col #5 - Col #6 (Cu. Ft.)
5	300	9.17	2.751	5,389.71	194.66	5,195.05
10	600	7.86	4.716	9,239.51	389.32	8,850.18
15	900	6.88	6.192	12,131.26	583.99	11,547.28
20	1,200	6.11	7.332	14,364.73	778.65	13,586.08
30	1,800	5.00	9.000	17,632.65	1,167.97	16,464.68
60	3,600	3.24	11.664	22,851.91	2,335.94	20,515.97
90	5,400	2.39	12.906	25,285.22	3,503.91	21,781.31
120	7,200	1.90	13.680	26,801.63	4,671.88	22,129.74
180	10,800	1.34	14.472	28,353.30	7,007.82	21,345.48

DESIGN STORMS
 100-year storm = 22,129.74 cubic feet Elev = 931.9

Bankfull Flood = 8160 x acreage x the relative imperviousness factor C
 Bankfull Flood = 15,986.93 cubic feet Elev = 931.0

First Flush = 1815 x acreage x the relative imperviousness factor C
 First Flush = 3,555.92 cubic feet Elev = 928.3

DISCHARGE CALCULATIONS
 FIRST FLUSH OF RUNOFF
 $Q_{FF} = V_{FF}/T_{24}$
 $Q_{FF} = 0.041$ CFS
 $h_{AVE} = (ELEV_{FF} - ELEV_{BOT}) = h_{TOTAL}$
 $h_{AVE} = 1.82$ FT
 $A = Q_{FF} / (0.62 * (2 * g * h_{AVE})^{0.5})$
 $A = 0.007$ FT² 1" DIA HOLE (SF) = 0.005
 # 1" DIA HOLES = 1 @ ELEV = 927.0
 $Q_{FF,NEW} = (A_{FF,NEW}) * (0.62 * (2 * g * h_{AVE})^{0.5})$
 $Q_{FF,NEW} = 0.047$ CFS
 $T_{FF,NEW} = V_{FF} / Q_{FF,NEW}$
 $T_{FF,NEW} = 21$ HR

BANKFULL FLOOD
 The bankfull flood must be detained 36-48 hours; check the discharge through the first flush orifice to see if additional holes are necessary.
 $h_{AVE} = (ELEV_{BF} - ELEV_{BOT}) = h_{TOTAL}$
 $h_{AVE} = 4.53$ FT
 $Q = (A_{FF}) * (0.62 * (2 * g * h_{AVE})^{0.5})$
 $Q = 0.074$ CFS
 $T = V_{BF} / Q$
 $T = 60$ HR
 $T_{TOT} = 60$ HR

$V_{REM} = V_{BF} - V_{FF}$
 $V_{REM} = 12,431.02$ FT³

$T_{REM} = T_{TOT} - T_{FF,NEW}$
 $T_{REM} = 39$ HR

$h_{AVE,FF} = (ELEV_{BF} - ELEV_{FF}) + (ELEV_{FF} - ELEV_{BOT})$
 $h_{AVE,FF} = 4.5$ FT

Q_1 will be defined as the discharge through the FF orifices when both the FF and BF holes are contributing
 $Q_1 = 0.62 * A_1 * (2 * g * h_{AVE,FF})^{0.5}$
 $Q_1 = 0.074$ CFS
 $V_1 = T_{REM} * Q_1$
 $V_1 = 10382.36$ FT³

The leftover volume will be released by the bankfull orifice.
 $V_2 = V_{REM} - V_1$
 $V_2 = 2,048.65$ FT³

$Q_2 = V_2 / T_{REM}$
 $Q_2 = 0.015$ CFS
 $h_{AVE,BF} = (ELEV_{BF} - ELEV_{FF})$
 $h_{AVE,BF} = 2.70$ FT
 $A_2 = Q_2 / (0.62 * (2 * g * h_{AVE,BF})^{0.5})$
 $A_2 = 0.002$ FT² 1" DIA HOLE (SF) = 0.005

1" DIA HOLES = 1 @ ELEV = 928.3

100-YEAR FLOOD
 $Q_o = 0.65$ CFS
 Q_o is a peak or maximum flow. Calculate the maximum flow passing through first flush and bankfull orifices, using the total head, and subtract from Q_o to determine the orifice size to release the 100-year storm volume:
 $Q_{FF} + Q_{BF} = 0.62 * A_{FF} * ((2 * g * h_{TOT})^{0.5}) + 0.62 * A_{BF} * ((2 * g * h_{TOT})^{0.5})$
 $Q_{FF} + Q_{BF} = 0.10$ CFS

$Q_{100} = Q_o - (Q_{FF} + Q_{BF})$
 $Q_{100} = 0.55$ CFS
 $A_{100} = Q_{100} / (0.62 * (2 * g * h_{100})^{0.5})$
 $A_{100} = 0.119$ SF 2" DIA HOLE (SF) = 0.022
 # 2" DIA HOLES = 5 @ ELEV = 931.0

SEDIMENT BASIN
 5% of Storage Volume = 1106 cubic feet
 Storage Elev = 928.2

ELEV	AREA (ft ²)	AVERAGE VOLUME (ft ³)
927.0	663	0
927.5	844	753
928.0	1,026	935
928.5	1,245	1,135
929.0	1,463	1,354
928.9	1,463	2,089

DETENTION BASIN
 Req. Storage Volume = 22130 cubic feet
 Storage Elev = 931.9

DETENTION BASIN ONLY			FOREBAY ABOVE STORAGE = 928.2			CUMULATIVE VOLUME	
ELEV	AREA (ft ²)	AVERAGE VOLUME (ft ³)	ELEV	AREA (ft ²)	INCREMENT VOLUME (ft ³)	ELEV	VOLUME (ft ³)
926.5	0	0	926.5	0	0	926.5	0
926.75	728	364	926.75	728	182	926.75	182
927.0	1,456	1,092	927.0	1,456	728	927.0	728
927.5	1,751	1,603	927.5	1,751	1,529	927.5	1,529
928.0	2,047	1,899	928.0	2,047	2,479	928.0	2,479
928.5	2,389	2,218	928.5	2,389	3,588	928.5	3,588
929.0	2,730	2,559	929.0	2,730	4,868	929.0	4,868
929.5	4,037	3,384	929.5	4,037	6,560	929.5	6,560
930.0	5,344	4,691	930.0	5,344	8,905	930.0	8,905
930.5	5,922	5,633	930.5	5,922	11,722	930.5	11,722
931.0	6,499	6,210	931.0	6,499	14,827	931.0	14,827
931.5	7,120	6,810	931.5	7,120	18,232	931.5	18,232
932.0	7,741	7,431	932.0	7,741	21,947	932.0	21,947
932.5	8,406	8,074	932.5	8,406	25,984	932.5	25,984
933.0	9,071	8,739	933.0	9,071	30,353	933.0	30,353

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 Grand Blanc, MI 48439
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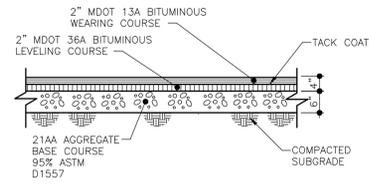
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 SITE PLAN REV. DATE: 09/07/16

DRAWN: JDT
 CHECKED: ACA
 SCALE: 1"=30'
 JOB NO.: BD-15-922

SHEET TITLE: STORM MANAGEMENT CALCULATIONS

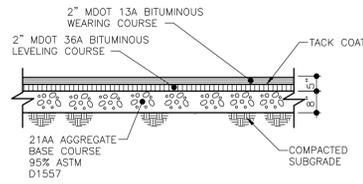
C5.2



NOTE: A GEOTECHNICAL REPORT WITH PAVEMENT DESIGN RECOMMENDATIONS WAS NOT AVAILABLE, THEREFORE THE PAVEMENT SECTION REPRESENTS THE MINIMUM STANDARDS RECOMMENDED.

STANDARD DUTY BITUMINOUS PAVEMENT

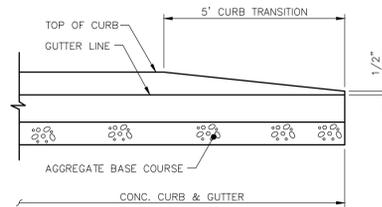
NO SCALE



NOTE: A GEOTECHNICAL REPORT WITH PAVEMENT DESIGN RECOMMENDATIONS WAS NOT AVAILABLE, THEREFORE THE PAVEMENT SECTION REPRESENTS THE MINIMUM STANDARDS RECOMMENDED.

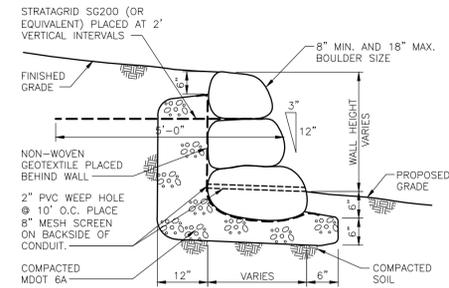
HEAVY DUTY BITUMINOUS PAVEMENT

NO SCALE



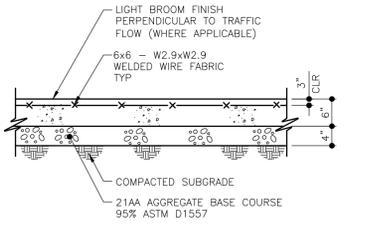
TYPICAL CURB END TRANSITION

NO SCALE



BOULDER RETAINING WALL

NO SCALE

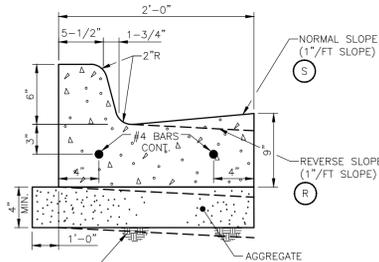


NOTE: A GEOTECHNICAL REPORT WITH PAVEMENT DESIGN RECOMMENDATIONS WAS NOT AVAILABLE, THEREFORE THE PAVEMENT SECTION REPRESENTS THE MINIMUM STANDARDS RECOMMENDED.

CONCRETE SHALL BE 3500 PSI

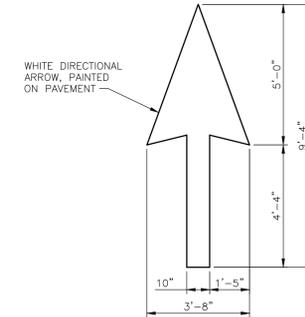
CONCRETE PAVEMENT

NO SCALE



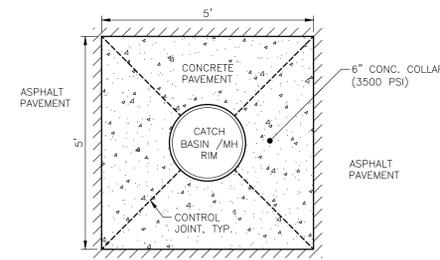
CONC. CURB & GUTTER

NO SCALE



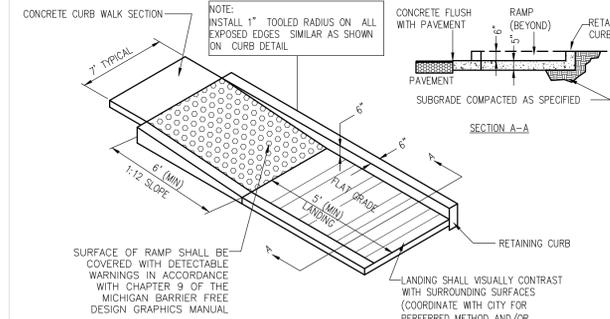
STRAIGHT DIRECTIONAL ARROW

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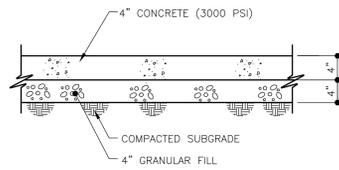
CONCRETE COLLAR

NO SCALE



BARRIER FREE RAMP

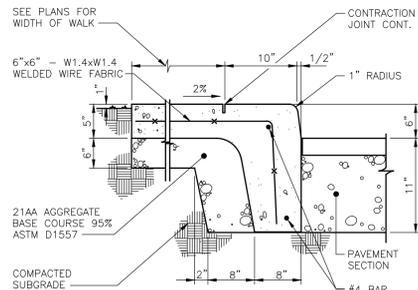
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NOTE: CONTRACTION JOINT SHALL BE 1/4"x2 3/4" DEEP, SPACED AT 5'-0" INTERVALS. EXPANSION JOINTS SHALL BE 1/2" PREMOLDED FILLER, SPACED AT A MAXIMUM 30' APART. EXPANSION JOINTS TO BE PLACED BETWEEN NEW AND EXISTING CONCRETE.

CONCRETE WALK

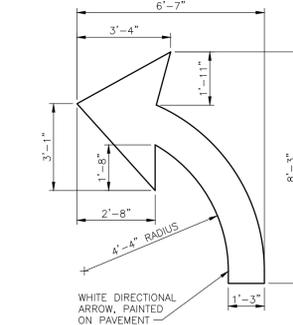
NO SCALE



NOTE: WHERE WALK DOES NOT ABUTT ASPHALT PAVEMENT, EXTEND THICKNESS FOR REQUIRED WIDTH AND OMIT CURB PORTION. CONTRACTION JOINTS TO BE 2 1/2" DEEP, SPACED AT 5' INTERVALS (TOOLED). EXPANSION JOINTS TO BE 1/2" PREMOLDED FILLER, SPACED A MAXIMUM OF 30' APART.

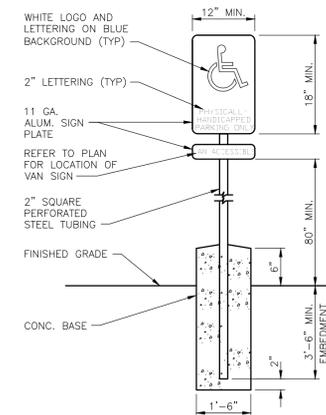
CONCRETE CURB WALK

NO SCALE



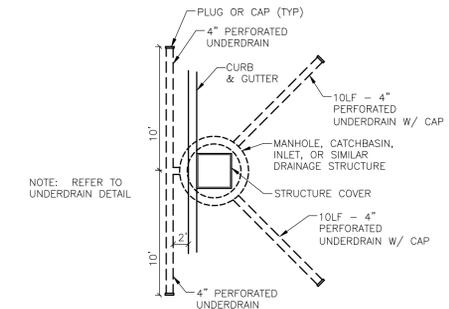
TURN DIRECTIONAL ARROW

NO SCALE



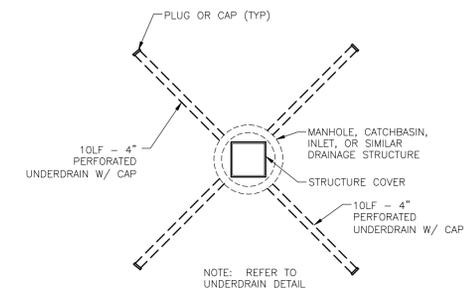
TYPICAL HANDICAP SIGN

NO SCALE



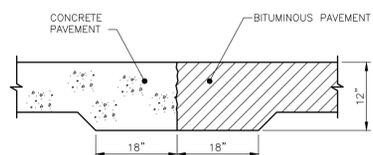
TYP CURB CATCH BASIN UNDERDRAIN

NO SCALE



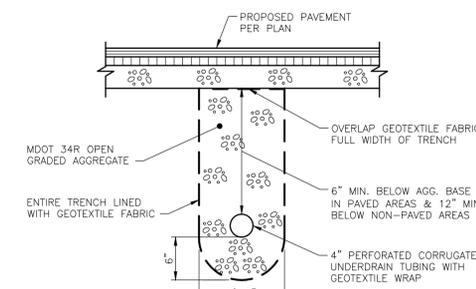
TYP CURB CATCH BASIN UNDERDRAIN

NO SCALE



TURNDOWN PAVEMENT SECTION

NO SCALE



UNDERDRAIN

NO SCALE



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10775 S. Saginaw St., Suite B
Grand Blanc, MI 48439

(PH) 810.695.0793
(FAX) 810.695.0569

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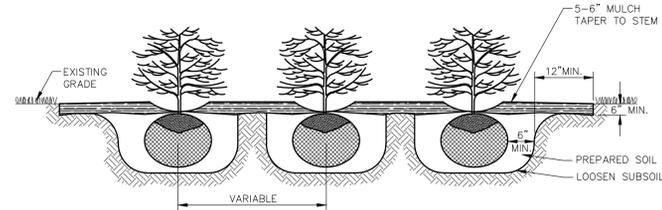
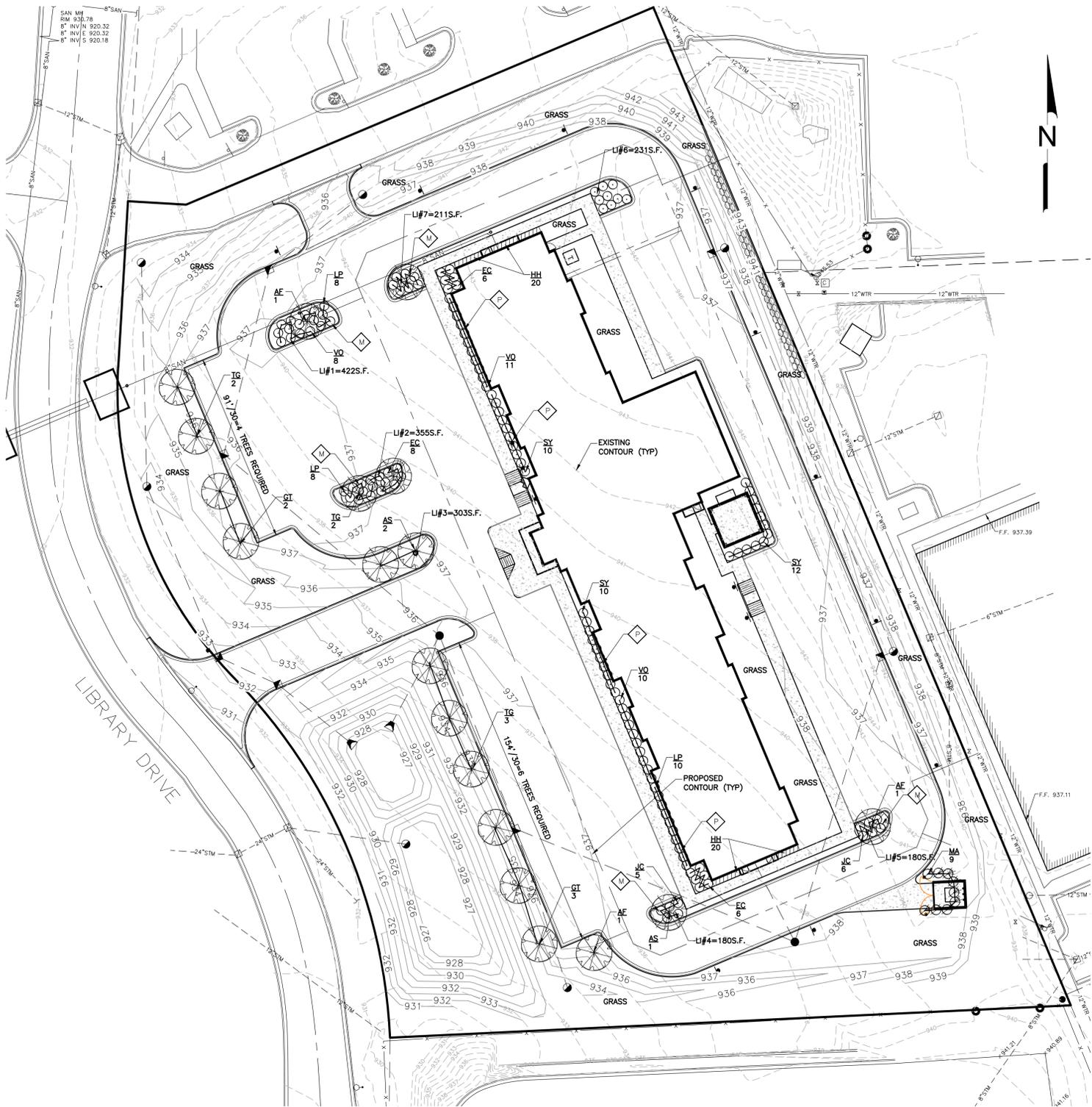
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SITE PLAN REV.	09/07/16

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SCALE : NTS
JOB NO : BD-15-322
SHEET TITLE :
SITE DETAILS
SHEET

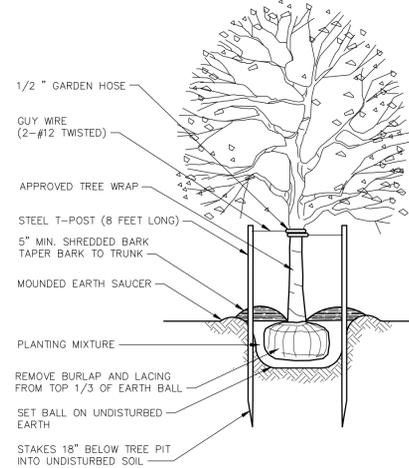
C6.0



—FIRST AND SECOND WATERING AND CULTIVATION SHALL INCLUDE SHRUB BEDS.
 —CUT 6" X 12" (MIN.) EDGING AROUND THE PERIMETER OF ALL SHRUB BEDS SHOWN ON THE PLANS. SPRAY A NON-PERSISTENT GLYPHOSATE HERBICIDE TO ENTIRE SHRUB BEDS PRIOR TO PLANTING AND BARK PLACEMENT.
 —SHRUB BEDS ARE TO BE PAID FOR BY THE PAY ITEM "SITE PREPARATION".
 —ALL PLANTS SHALL BE SET PLUMBS AND HAVE THE BEST SIDE OF PLANT FACING THE MAIN VIEWING DIRECTION.

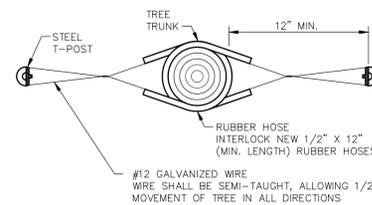
SHRUB BED DETAIL

SCALE: NONE



DECIDUOUS TREE PLANTING

SCALE: NONE



BRACING DETAIL

SCALE: NONE

KEY NOTES

- M MULCH (SHREDDED BARK) 5" DEPTH
- P 3" LAYER OF WALNUT PEBBLES (1/2" - 1") UNDERLAIN W/ WEED BARRIER

QUANTITY	KEY	BOTANICAL NAME	COMMON NAME	SIZE
6	GT	GLEDTISIA T.I. 'SKYLINE'	SKYLINE HONEYLOCUST	2" B&B
7	TG	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2" B&B
3	AS	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	2" B&B
3	AF	ACER RUBRUM 'FRANKSRED'	RED SUNSET MAPLE	2" B&B
40	HH	HEMERCALUS HYPERION	HYPERION DAYLILY	2YD #2 CONT
20	VO	VIBURNUM OPULUS 'COMPACTUM'	COMPACT EUROPEAN CRANBERRY BUSH	30" B&B
18	JC	JUNIPERUS C. 'SEAGREEN'	SEA GREEN JUNIPER	30" B&B
26	LP	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA	30" B&B
20	EC	EUONYMUS ALATUS 'COMPACTUM'	DWARF BURNING BUSH	30" B&B
32	SY	TAXUS X MEDIA 'SEBIAN'	SEBIAN YEW	30" B&B

DESCRIPTION

THIS WORK SHALL CONSIST OF PROVIDING ALL NECESSARY MATERIALS, LABOR, EQUIPMENT, TOOLS AND SUPERVISION REQUIRED FOR THE EXECUTION AND GUARANTEE OF ALL PLANTINGS AND RELATED WORK AS SHOWN ON THE DRAWINGS.

PLANT MATERIALS SHALL CONFORM TO THE SIZES STATED ON THE PLANT LIST AND SHALL BE OF A MINIMUM SIZE OR LARGER. ALL MEASUREMENTS, OF SPREAD, CALIPER, BALL SIZE, TRUNK CROWN RATIO, QUALITY DESIGNATIONS, ETC., SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "ANSI STANDARDS FOR NURSERY STOCK". PLANT MATERIAL SHALL BE NURSERY GROWN AND INSPECTED BY THE OWNER'S REPRESENTATIVE AT THE SITE PRIOR TO PLANTING. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL AT ANY TIME.

NURSERY STOCK SHALL BE PREPARED FOR SHIPMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT ANSI SPECIFICATION Z60.1 AND SHALL BE ENCLOSED OR COVERED DURING TRANSPORTATION TO PREVENT DRYING.

SITE PREPARATION

THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND PROTECT AND REPAIR UTILITIES ENCOUNTERED DURING CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.

INDIVIDUAL HOLES SHALL BE CENTERED AT STAKED PLANT LOCATIONS. CONTRACTOR IS TO STAKE PRIOR TO PLACEMENT OF PLANT MATERIAL AND OBTAIN APPROVAL FROM THE OWNER'S REPRESENTATIVE. PLANTING HOLES SHALL BE DUG LARGE ENOUGH TO PERMIT PLACING PREPARED TOPSOIL 18" LATERALLY BEYOND THE ENDS OF THE ROOT BALLS FOR SHADE AND EVERGREEN TREES AND 6" LATERALLY FOR SHRUBS UNLESS OTHERWISE SPECIFIED.

EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE AT THE TIME THE HOLE IS DUG. THE PLANTING HOLE SHALL BE BACKFILLED WITH PREPARED TOPSOIL THE SAME DAY THEY ARE DUG.

TOPSOIL SHALL AT FERTILE, FRIABLE NATURAL TOPSOIL OF CLAY LOAM CHARACTER CONTAINING AT LEAST 5% BUT NOT MORE THAN 20% BY WEIGHT OF ORGANIC MATTER WITH A PH RANGE FROM 6.0 TO 7.0. TOPSOIL SHALL BE FREE OF CLAY LUMPS, COARSE SAND, STONES, PLANT ROOTS, STICKS OR OTHER FOREIGN MATTER.

CARE FOR PLANTS BEFORE PLANTING

PLANTS DESIGNATED "BT" SHALL BE BALLED AND BURLAPPED WITH FIRM NATURAL BALLS OF EARTH. CRACKED, LOOSENEED OR BROKEN BALLS SHALL NOT BE PLANTED. THEY SHALL BE MARKED WITH SPRAY PAINT AND IMMEDIATELY REMOVED FROM THE JOB SITE. IMMEDIATELY FOLLOWING DELIVERY AT THE JOB SITE, ALL PLANTS THAT WILL NOT BE PLANTED THAT SAME DAY SHALL BE "HEELED IN" WITH SHREDDED BARK OR MOIST SOIL AND KEPT MOIST UNTIL PLANTED.

THE TRUNKS AND BRANCHES OF ALL TREES SHALL BE PROTECTED FROM INJURY OF ANY KIND DURING ALL OPERATIONS. THE OWNER'S REPRESENTATIVE SHALL REJECT ANY TREES THAT ARE INJURED.

PLANTING

THE CONTRACTOR IS RESPONSIBLE FOR PLANTING MATERIALS PLUMB. SET THE TOP OF THE ROOT BALL AT OR SLIGHTLY HIGHER THAN THE SURROUNDING GRADE. PLANTS SHALL BE FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT STRUCTURES. NO FILLING WILL BE PERMITTED AROUND TRUNK OR STEMS. WHEN THE PLANT HAS BEEN PROPERLY SET, THE HOLE SHALL BE BACKFILLED TO 1/2 THE DEPTH OF THE BALL WITH PREPARED TOPSOIL MIXTURE, FIRMLY PACKED AND WATERED-IN AT TIME OF PLANTING. LOOSED AND REMOVE BURLAP AND LACING FROM UPPER 1/3 OF THE ROOT BALL. BACKFILL WITH PREPARED TOPSOIL, WHICH AFTER COMPACTION IS FLUSH WITH THE SURROUNDING GROUND.

MULCHING

ALL PLANT MATERIAL SHALL BE ENCIRCLED WITH A 5" MINIMUM COVERING OF NON-DYED SHREDDED BARK MULCH TO 6" OUTSIDE THE PLANTING HOLE. TAPERING MULCH TO 2" AROUND THE TRUNK OF ALL PLANTS. SUBMIT SAMPLE TO THE OWNER'S REPRESENTATIVE FOR APPROVAL BEFORE PLACEMENT. WOOD CHIPS SHALL NOT BE ALLOWED ON THIS JOB.

WRAPPING DECIDUOUS TREES

TREE WRAP SHALL COVER TRUNKS OF ALL DECIDUOUS TREES BEGINNING BELOW THE SOIL LINE JUST ABOVE THE ROOTS. TIE WITH TWINE IN 5 PLACES, INCLUDING THE TOP AND BOTTOM OF WRAPPING. MASKING TAPE OR WIRE WILL NOT BE ALLOWED.

BRACING AND GUYING

GUYING SHALL BE EMPLOYED TO PREVENT LEANING OR LOOSENING OF THE TREE FROM THE BALL. BRACING MATERIAL SHALL BE T-POSTS PAINTED GREEN. GUYING MATERIAL SHALL BE 12 GAUGE WIRE AND GARDEN HOSE 1/2 INCH DIAMETER. GUY WIRE SHALL BE ENCASED IN HOSE TO PREVENT DIRECT CONTACT WITH THE TREE. DECIDUOUS TREES SHALL BE BRACED OR GUYED IMMEDIATELY AFTER THE TREE WRAPPING IS COMPLETE.

STEEL LANDSCAPE EDGING

4" STEEL LANDSCAPE EDGING SHALL BE USED ON THIS PROJECT. ALUMINUM OR PLASTIC EDGING WILL NOT BE ALLOWED.

PRUNING

UPON COMPLETION, ALL PLANT MATERIAL MUST BE PRUNED. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED BRANCHES AND TO COMPENSATE FOR THE LOSS OF ROOTS FROM TRANSPANTING. ALL CUTS SHALL BE MADE FLUSH LEAVING NOT STUBS. PRUNING PAINT SHALL NOT BE USED.

FINISHING AND CLEANING UP

IMMEDIATELY UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN UP THE AREA OF SURPLUS MATERIALS. THE CONTRACTOR SHALL REPAIR AND RE-ESTABLISH TURF IN RUTTED AREAS.

WARRANTY

THE LANDSCAPE INSTALLATION CONTRACTOR SHALL REPLACE ALL UNHEALTHY VEGETATION AND PLANTINGS WITHIN ONE (1) YEAR OF INITIAL PLANTING OR SUBSEQUENT PLANTING PERIOD.

GENERAL NOTES

1. CONTRACTOR TO PROVIDE DESIGN AND INSTALLATION OF UNDERGROUND IRRIGATION SYSTEM IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND REGULATORY AGENCY REQUIREMENTS. ALL LANDSCAPING AND GRASS AREAS TO BE IRRIGATED. IRRIGATION CONTROL PANEL SHALL BE LOCATED WITHIN THE BUILDING.
2. ALL GREEN SPACES AND PLANTING AREAS SHALL BE IRRIGATED.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS AND POST ALL BONDS PRIOR TO CONSTRUCTION.
4. REFER TO PLUMBING PLANS FOR LOCATION OF IRRIGATION METER.
5. ALL GRASS AREAS TO BE SODDED.
6. SPACE ALL SHRUBS AT 5- FEET ON CENTER UNLESS OTHERWISE INDICATED ON THE PLANS
7. ALL DISTURBED LAWN AREAS SHALL BE RESTORED TO AT LEAST PREVIOUS CONDITION IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
8. THE GENERAL CONTRACTOR SHALL INCLUDE TOPSOIL IN BASE BID. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE AMOUNT OF TOPSOIL AVAILABLE ON-SITE.



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10775 S. Saginaw St., Suite B
 Grand Blanc, MI 48439
 (PH) 810.695.0793
 (FAX) 810.695.0569

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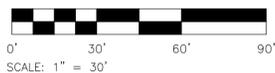
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SITE PLAN REV.	09/07/16

DATE
DRAWN - JDT
CHECKED - ACA
SCALE - 1"=30'
JOB NO. - BD-15-922
SHEET TITLE
LANDSCAPE PLAN AND DETAILS
SHEET

L1.0



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THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.



Bud Design & Engineering Services, Inc.
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 10775 S. Saginaw St., Suite B
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 (PH) 810.695.0793
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ELEVATION MATERIAL NOTES

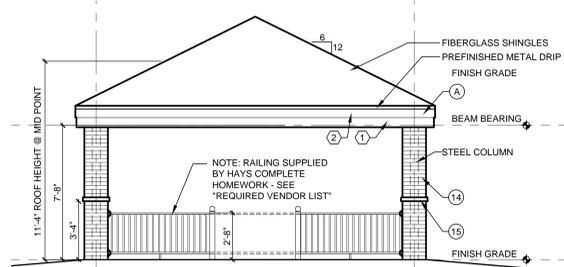
- 1 - WALLS - (E.I.F.S.) EXTERIOR INSULATION FINISH SYSTEM
- 2 - CONTROL JOINT (INDICATED AS C.J. ON DRAWINGS) 3/4" x 3/4" CONSTRUCTION JOINT (E.I.F.S.) NOTE: THIS DETAIL TO BE USED AT JOINT WHERE E.I.F.S. THICKNESS DOES NOT CHANGE
- 3 - 2" HIGH x 3/4" DEEP RUSTICATION JOINT
- 4 - NOT USED
- 5 - NOT USED
- 6 - HOLLOW METAL DOORS SEE SCHEDULE
- 7 - GLASS/ALUMINUM DOORS SEE SCHEDULE
- 8 - 4" x 5" WINDOW UNLESS NOTED OTHERWISE
- 9 - THRU-WALL HVAC UNIT - SEE MECH. COLOR TO MATCH ADJACENT EIFS COLOR
- 10 - MECH. LOUVERS, SEE MECH. DWGS. FOR SIZE, ALSO REF. STRUCT. DWGS. FOR HEADER SIZE AND LOCATION. PAINT LOUVER TO MATCH ADJACENT SURFACE
- 11 - EXPANSION JOINT IN EIFS (INDICATED AS E.J. ON DRAWINGS) SHEATHING WITH SEALANT & BACKER ROE
- 12 - EXTERIOR LIGHTS - REFER TO ELECTRICAL DRAWINGS
- 13 - NON-FUNCTIONAL DECORATIVE LOUVER TO MATCH THRU-WALL HVAC LOUVER
- 14 - BRICK: BELDEN, "CHESTNUT HILL VELDUR" (MODULAR)
- 15 - LIMESTONE SILL - INDIANA LIMESTONE "BUFF"
- 16 - LIMESTONE WINDOW HEAD - INDIANA LIMESTONE "BUFF"

E.I.F.S. COLOR

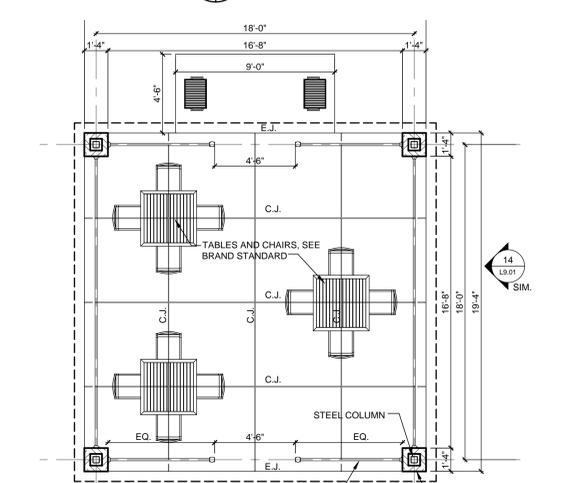
- MATCH EIFS COLOR TO THE FOLLOWING BENJAMIN MOORE COLORS
- (A) - WHITE HERON OC-57
 - (B) - WHITE SAND OC-10
 - (C) - PROVIDENCE OLIVE HC-98
 - (D) - NOT USED
 - (E) - VALLEY FORGE TAN AC-35
 - (H) - NOT USED

E.I.F.S. THICKNESS

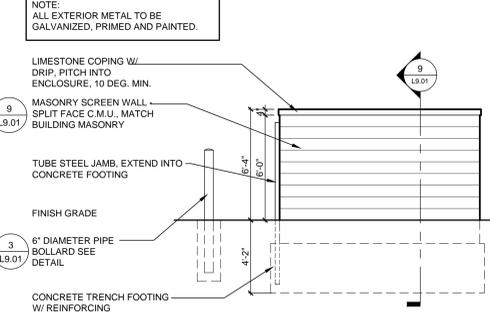
- NOTES:
1. COLOR OF FASCIA, AND SOFFIT TO MATCH EIFS COLOR
 2. GUTTERS, DOWNSPOUTS SHALL BE SEAMLESS & PREFINISHED TO MATCH ADJOINING BUILDING SURFACE
 3. ALL SHUTTERS COLOR TO MATCH PERFECT SHUTTERS WC # 2 BLACK STRAIGHT LS
 4. NOT USED
 5. BRACKET COLOR TO MATCH BENJAMIN MOORE COLOR: WHITE HERON OC-57
 6. METAL ROOF COLOR TO MATCH EIFS COLOR "A"



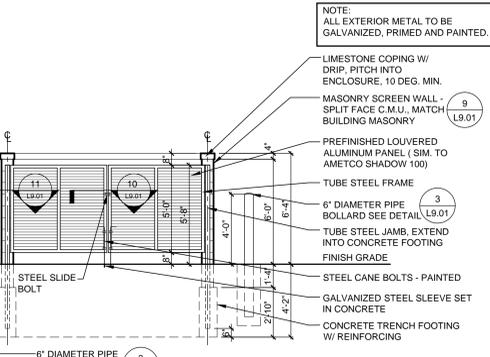
14 GAZEBO ELEVATION (TYP.)
 SCALE: 1/4"=1'-0"



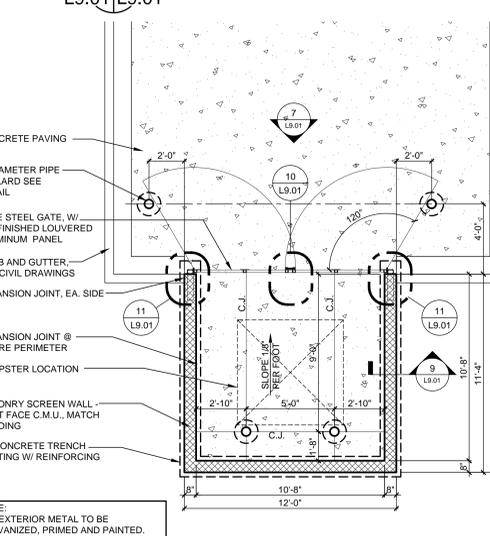
13 GAZEBO PLAN
 SCALE: 1/4"=1'-0"



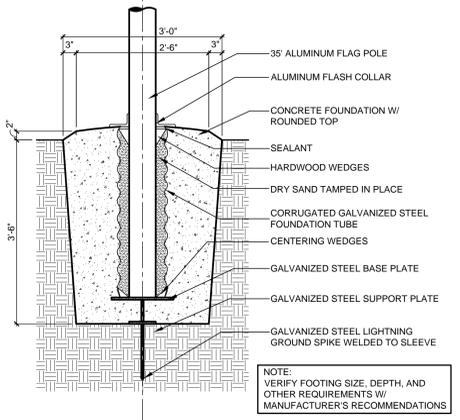
8 DUMPSTER ENCLOSURE ELEVATION
 L9.01/L9.01 SCALE: 1/4"=1'-0"



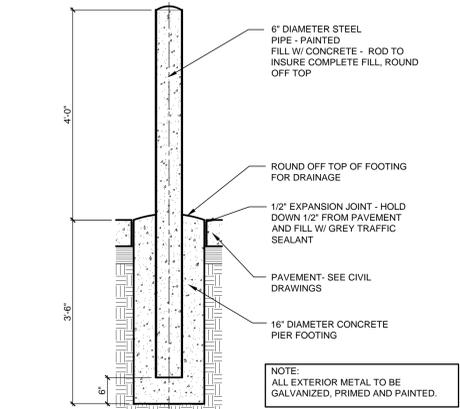
7 DUMPSTER ENCLOSURE ELEVATION
 L9.01/L9.01 SCALE: 1/4"=1'-0"



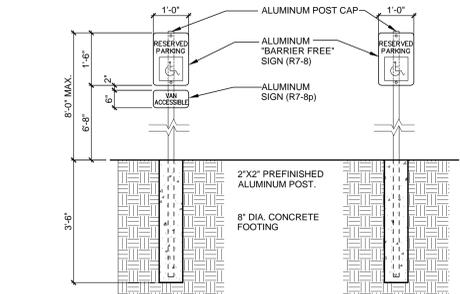
6 DUMPSTER ENCLOSURE PLAN
 L9.01/L9.01 SCALE: 1/4"=1'-0"



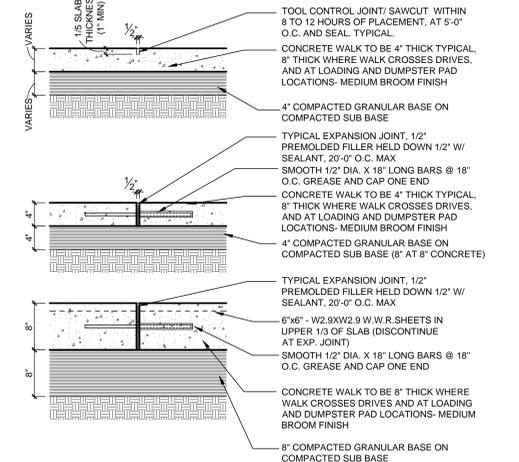
4 FLAG POLE SECTION
 L9.01/L9.01 SCALE: 3/4"=1'-0"



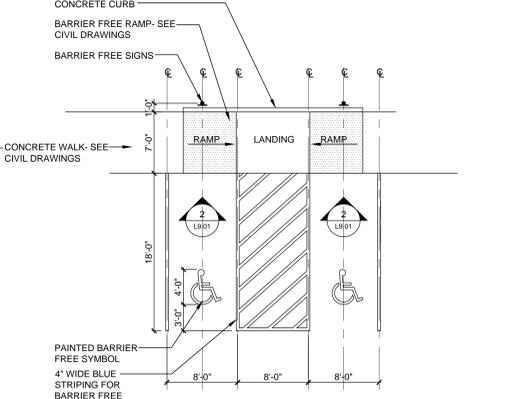
3 BOLLARD SECTION
 L9.01/L9.01 SCALE: 3/4"=1'-0"



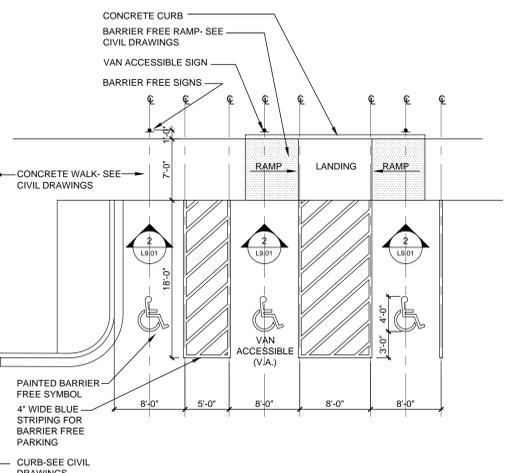
2 BARRIER FREE PARKING SIGNAGE
 L9.01/L9.01 SCALE: 1/2"=1'-0"



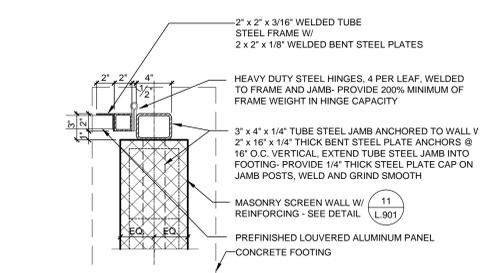
5 CONCRETE CONTROL/ EXPANSION JOINTS
 L9.01/L9.01 SCALE: 1"=1'-0"



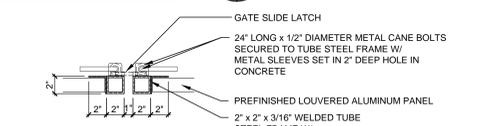
1A BARRIER FREE PARKING LAYOUT
 L9.01/L9.01 SCALE: 1/8"=1'-0"



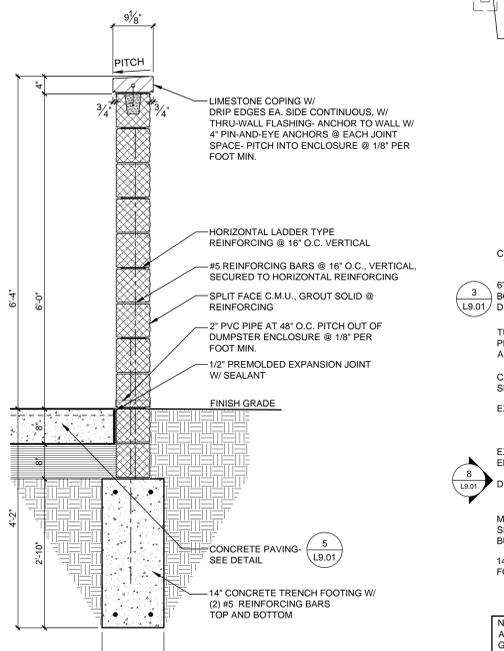
1 BARRIER FREE PARKING LAYOUT
 L9.01/L9.01 SCALE: 1/8"=1'-0"



11 GATE JAMB SECTION
 L9.01/L9.01 SCALE: 1/2"=1'-0"



10 GATE LATCH SECTION
 L9.01/L9.01 SCALE: 1/2"=1'-0"



9 SCREEN WALL SECTION
 L9.01/L9.01 SCALE: 3/4"=1'-0"

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SITE PLAN REV. 08.03.16	
SITE PLAN REV. 09.07.16	

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 CHECKED :
 SCALE : AS INDICATED
 JOB NO : BD-15-322
 SHEET TITLE :
 SITE DETAILS

SHEET
 L9.01

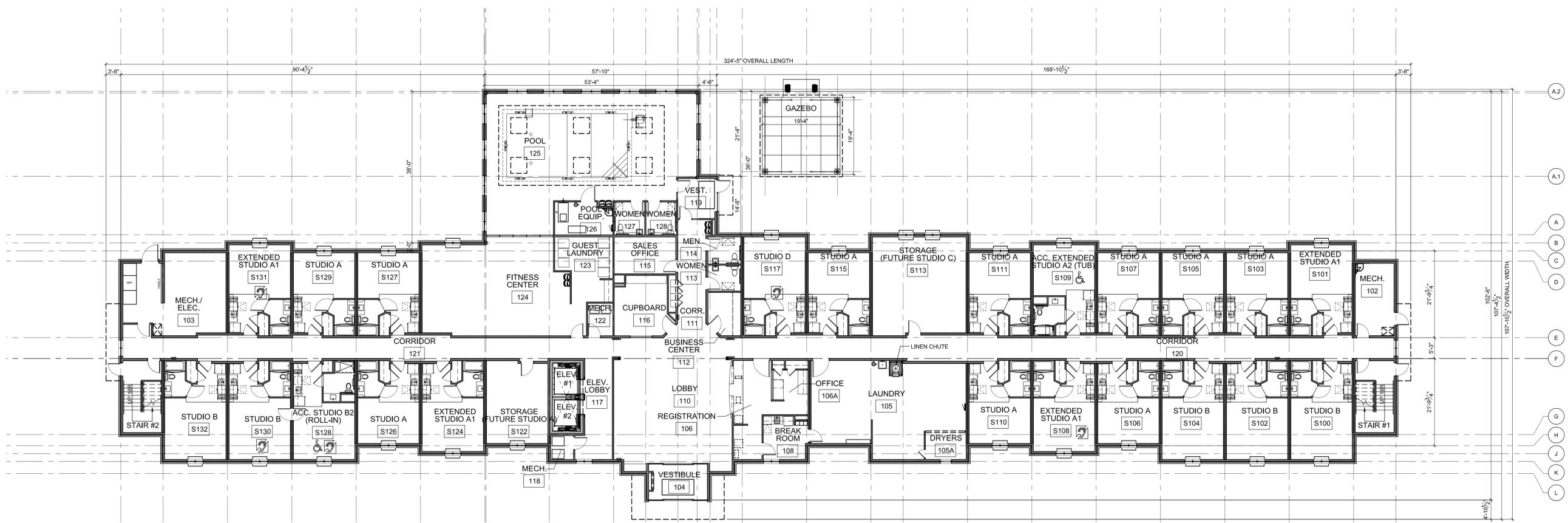


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Architectural | Engineering | Interior Design
10775 S. Saginaw St., Suite B
Grand Blanc, MI 48439
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OWNER REV.	05.09.16
PHS BRAND REV.	05.11.16
SITE PLAN REV.	08.03.16
SITE PLAN	09.07.16

DRAWN :
CHECKED :
SCALE : AS INDICATED
JOB NO : BD-15-322

SHEET TITLE :
FIRST FLOOR PLAN
SHEET
A101

TRUE NORTH PLAN NORTH
1 **FIRST FLOOR PLAN**
SCALE: 3/32"=1'-0"



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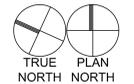
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OWNER REV.	05.09.16
PRE-BRAND REV.	05.11.16
SITE PLAN REV.	08.03.16
SITE PLAN	09.07.16

DRAWN :
CHECKED :
SCALE : AS INDICATED
JOB NO : BD-15-322

SHEET TITLE :
SECOND FLOOR PLAN

SHEET
A102



2

SECOND FLOOR PLAN
SCALE: 3/32"=1'-0"



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Grand Blanc, MI 48439
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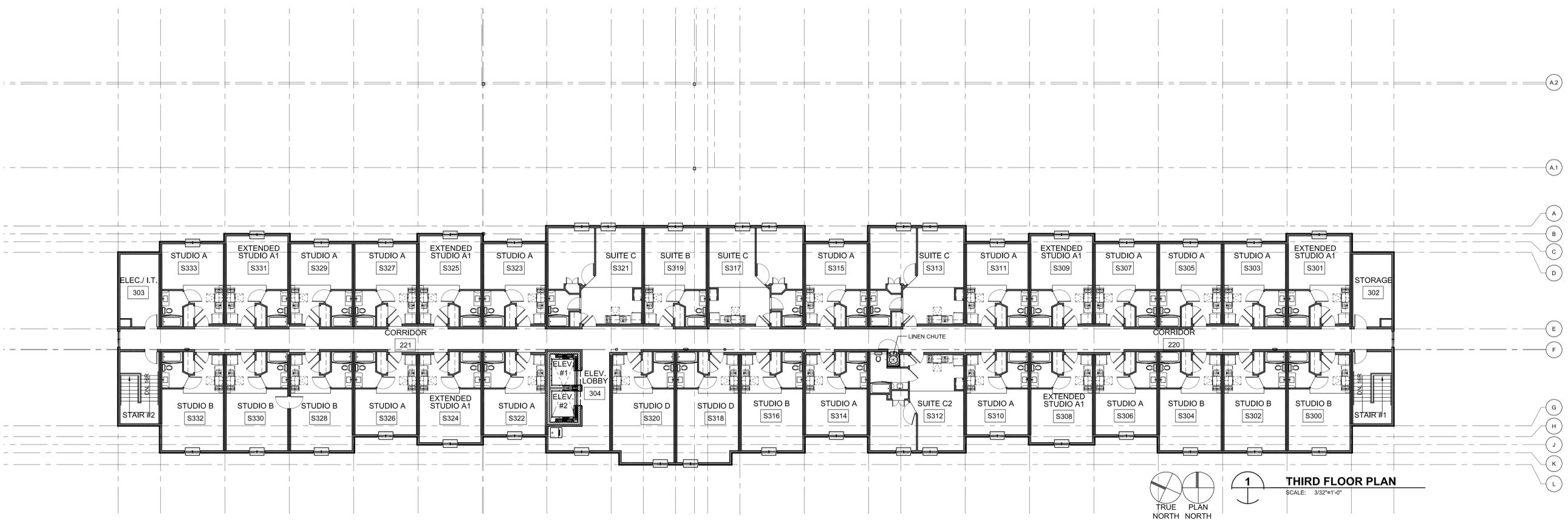
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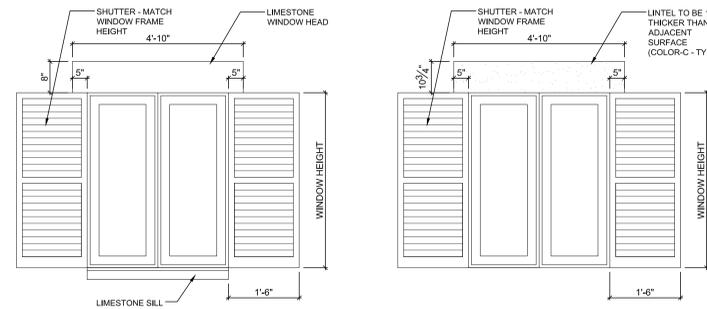
ISSUED FOR	DATE
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OWNER REV.	02.26.16
OWNER REV.	04.26.16
OWNER REV.	05.09.16
PRE-BRAND REV.	05.11.16
SITE PLAN REV.	08.03.16
SITE PLAN	09.07.16

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SCALE : AS INDICATED
JOB NO : BD-15-322

SHEET TITLE :
THIRD FLOOR PLAN
SHEET
A103



1 THIRD FLOOR PLAN
SCALE: 3/32"=1'-0"



NOTE: REFER TO BUILDING ELEVATIONS FOR WINDOWS TO RECEIVE LINTELS, AND/OR SHUTTERS

5 WINDOW ELEVATIONS
SCALE: 1/2"=1'-0"

ELEVATION MATERIAL NOTES

- 1 - WALLS - (E.I.F.S.) EXTERIOR INSULATION FINISH SYSTEM
- 2 - CONTROL JOINT INDICATED AS 'CJ' ON DRAWINGS. 3/4" x 1/4" CONSTRUCTION JOINT IN E.I.F.S. (NOTE: THIS DETAIL TO BE USED AT JOINTS WHERE E.I.F.S. THICKNESS DOES NOT CHANGE)
- 3 - 2" HIGH x 3/4" DEEP RUSTICATION JOINT
- 4 - NOT USED
- 5 - NOT USED
- 6 - HOLLOW METAL DOORS SEE SCHEDULE
- 7 - GLASS/ALUMINUM DOORS SEE SCHEDULE
- 8 - 4'-0" x 5'-0" WINDOW UNLESS NOTED OTHERWISE
- 9 - THRU-WALL HVAC UNITS - SEE MECH. -COLOR TO MATCH ADJACENT EIFS COLOR
- 10 - MECH. LOUVERS - SEE MECH. DWGS. FOR SIZE. ALSO REF. STRUCT. DWGS. FOR HEADER SIZE AND LOCATION. PAINT LOUVER TO MATCH ADJACENT SURFACE
- 11 - EXPANSION JOINT IN EIFS INDICATED AS 'EJ' ON DRAWINGS. SHEETING WITH SEALANT & BACKER ROD
- 12 - EXTERIOR LIGHTS - REFER TO ELECTRICAL DRAWINGS
- 13 - NON-FUNCTIONAL DECORATIVE LOUVER TO MATCH THRU-WALL HVAC LOUVER
- 14 - BRICK, BELDEN, CHESTNUT HILL VELDUP (MODULAR)
- 15 - LIMESTONE ILL. INDIANA LIMESTONE 'BUFF'
- 16 - LIMESTONE WINDOW HEAD- INDIANA LIMESTONE 'BUFF'

E.I.F.S. COLOR

MATCH EIFS COLOR TO THE FOLLOWING BENJAMIN MOORE COLORS

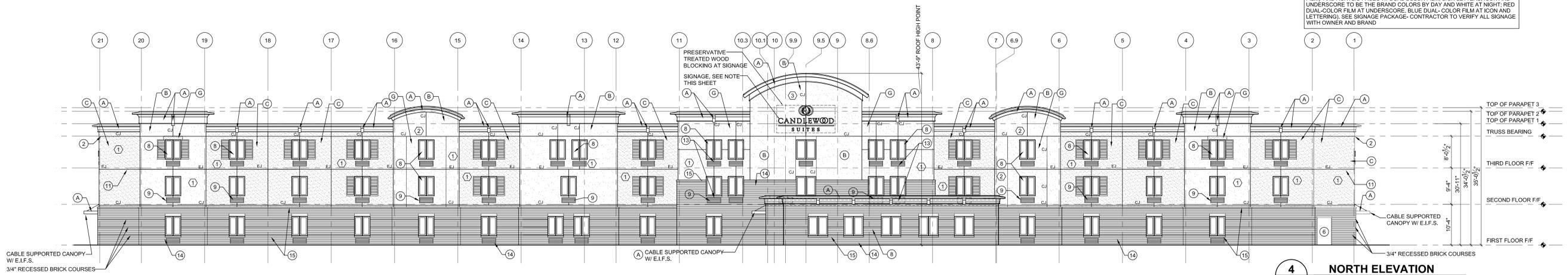
- A - WHITE HERON OC-57
- B - WHITE SAND OC-10
- C - PROVIDENCE OLIVE HC-98
- D - NOT USED
- E - VALLEY FORGE TAN AC-35
- F - NOT USED

E.I.F.S. THICKNESS

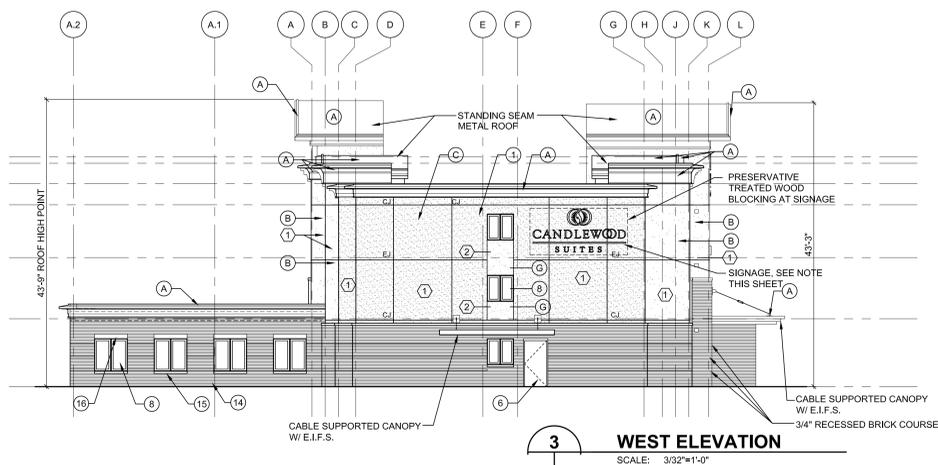
- 1 - 2" THICK E.I.F.S.
- 2 - 3" THICK E.I.F.S.
- 3 - 4" THICK E.I.F.S.

- NOTES:**
- COLOR OF FASCIA, AND SOFFIT TO MATCH EIFS COLOR "A"
 - GUTTERS, DOWNSPOUTS, SHALL BE SEAMLESS & FINISHED TO MATCH ADJOINING BUILDING SURFACE.
 - ALL SHUTTERS COLOR TO MATCH PERFECT SHUTTERS WC # 2 BLACK STRAIGHT LS
 - NOT USED
 - BRACKET COLOR TO MATCH BENJAMIN MOORE COLOR: WHITE HERON OC-57
 - METAL ROOF COLOR TO MATCH EIFS COLOR "A"

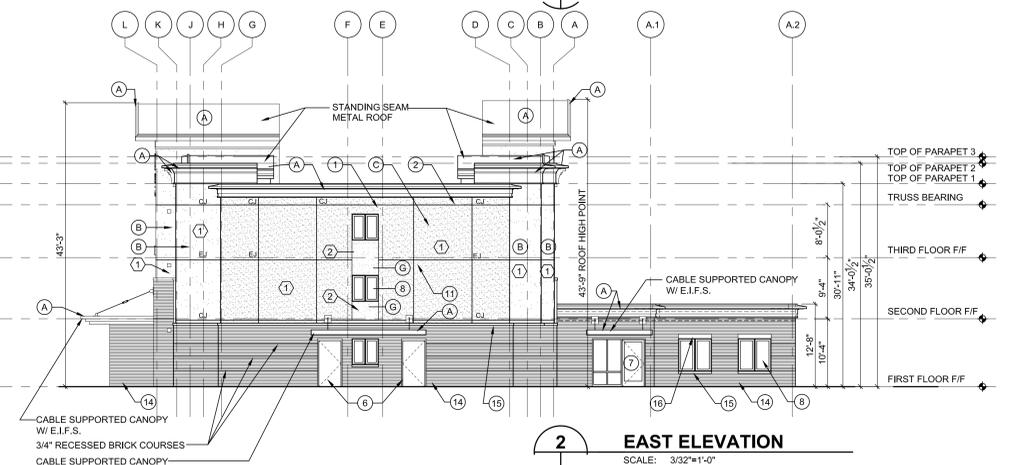
SIGNAGE NOTE: FACE-LIT, SIGNAGE. SIGNAGE TO BE SURFACE MTD. CHANNEL LETTERS W/ ALUMINUM RETURNS (PAINT TO MATCH DUAL COLOR FILM) AND ACRYLIC FACES W/ DUAL COLOR FILM. SIGN LETTERS, ICON AND UNDERSCORE TO BE THE BRAND COLORS BY DAY AND WHITE AT NIGHT; RED DUAL-COLOR FILM AT UNDERSCORE; BLUE DUAL-COLOR FILM AT ICON AND LETTERING; SEE SIGNAGE PACKAGE-CONTRACTOR TO VERIFY ALL SIGNAGE WITH OWNER AND BRAND.



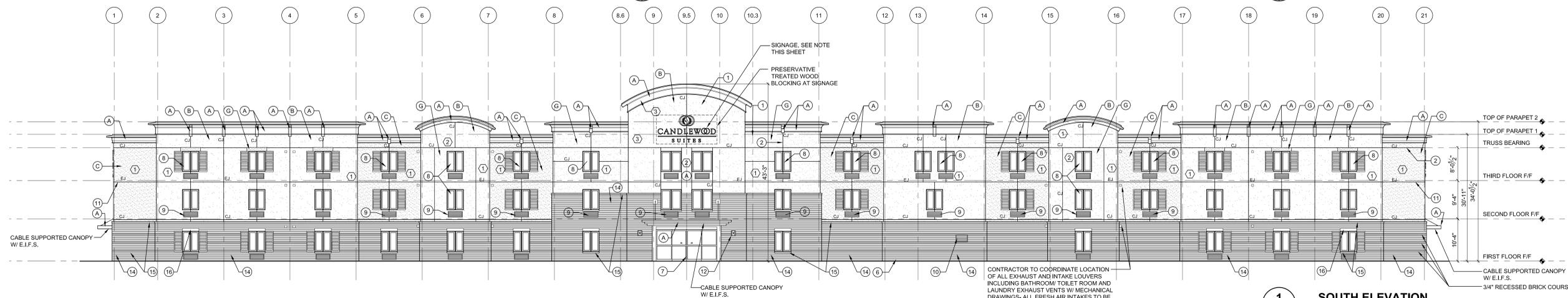
4 NORTH ELEVATION
SCALE: 3/32"=1'-0"



3 WEST ELEVATION
SCALE: 3/32"=1'-0"



2 EAST ELEVATION
SCALE: 3/32"=1'-0"



1 SOUTH ELEVATION
SCALE: 3/32"=1'-0"

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OWNER REV.	05.09.16
PRE-BRAND REV.	05.11.16
SITE PLAN REV.	08.03.16
SITE PLAN	09.07.16

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CHECKED:
SCALE: AS INDICATED
JOB NO: BD-15-322

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET
A200



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 Grand Blanc, MI 48439
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 (FAX) 810.495.0569
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ELEVATION MATERIAL NOTES

- ① - WALLS - (E.I.F.S.)
EXTERIOR INSULATION FINISH SYSTEM
- ② - CONTROL JOINT (INDICATED AS 'CJ' ON DRAWINGS)
3/4" x 1/4" CONSTRUCTION JOINT IN E.I.F.S.
(NOTE: THIS DETAIL TO BE USED AT JOINT
WHERE E.I.F.S. THICKNESS DOES NOT CHANGE)
- ③ - 2" HIGH x 3/4" DEEP
RUSTICATION JOINT
- ④ - NOT USED
- ⑤ - NOT USED
- ⑥ - HOLLOW METAL DOORS
SEE SCHEDULE
- ⑦ - GLASS ALUMINUM DOORS
SEE SCHEDULE
- ⑧ - 4'-0" x 5'-0" WINDOW
UNLESS NOTED OTHERWISE
- ⑨ - THROUGH WALL HVAC UNIT - SEE
MECH. - COLOR TO MATCH
ADJACENT EIFS COLOR
- ⑩ - MECH. LOUVERS
SEE MECH. DWGS. FOR SIZE.
ALSO REF. STRUCT.
DWGS. FOR HEADER SIZE
AND LOCATION. PAINT
LOUVER TO MATCH
ADJACENT SURFACE
- ⑪ - EXPANSION JOINT IN EIFS
(INDICATED AS 'EJ' ON DRAWINGS)
SHEATHING WITH SEALANT
& BACKER ROD
- ⑫ - EXTERIOR LIGHTS -
REFER TO ELECTRICAL DRAWINGS
- ⑬ - NON-FUNCTIONAL
DECORATIVE LOUVER
TO MATCH THROUGH WALL
HVAC LOUVER
- ⑭ - BRICK, BELDEN, CHESTNUT
HILL VELOUR (MODULAR)
- ⑮ - LIMESTONE BULL INDIANA
LIMESTONE 'BUFF'
- ⑯ - LIMESTONE WINDOW HEAD- INDIANA
LIMESTONE 'BUFF'

E.I.F.S. COLOR

MATCH EIFS COLOR TO THE FOLLOWING BENJAMIN MOORE COLORS

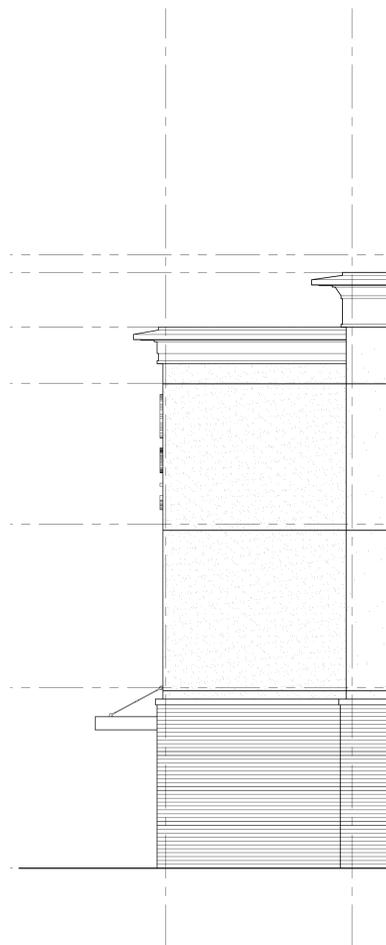
- Ⓐ - WHITE HERON OC-57
- Ⓑ - WHITE SAND OC-10
- Ⓒ - PROVIDENCE OLIVE HC-98
- Ⓓ - NOT USED
- Ⓔ - VALLEY FORGE TAN AC-35
- Ⓕ - NOT USED

NOTES:

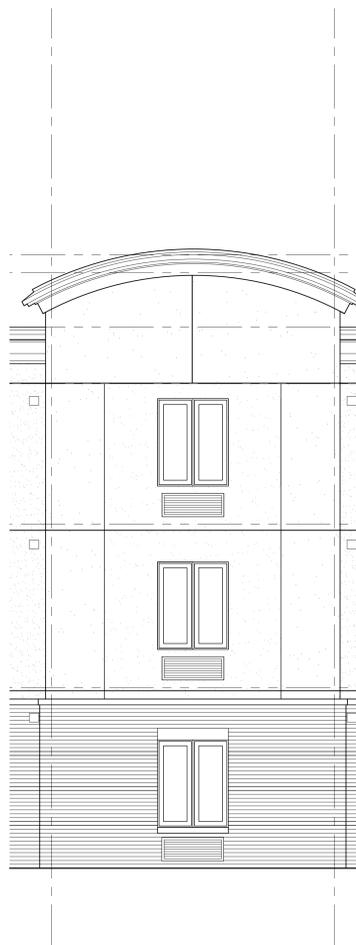
- 1. COLOR OF FASCIA, AND SOFFIT TO MATCH EIFS COLOR "A"
- 2. GUTTERS, DOWNSPOUTS, SHALL BE SEAMLESS & PREFINISHED TO MATCH ADJOINING BUILDING SURFACE.
- 3. ALL SHUTTERS COLOR TO MATCH PERFECT SHUTTERS WC # 2 BLACK STRAIGHT LS
- 4. NOT USED
- 5. BRACKET COLOR TO MATCH BENJAMIN MOORE COLOR: WHITE HERON OC-57
- 6. METAL ROOF COLOR TO MATCH EIFS COLOR "A"

E.I.F.S. THICKNESS

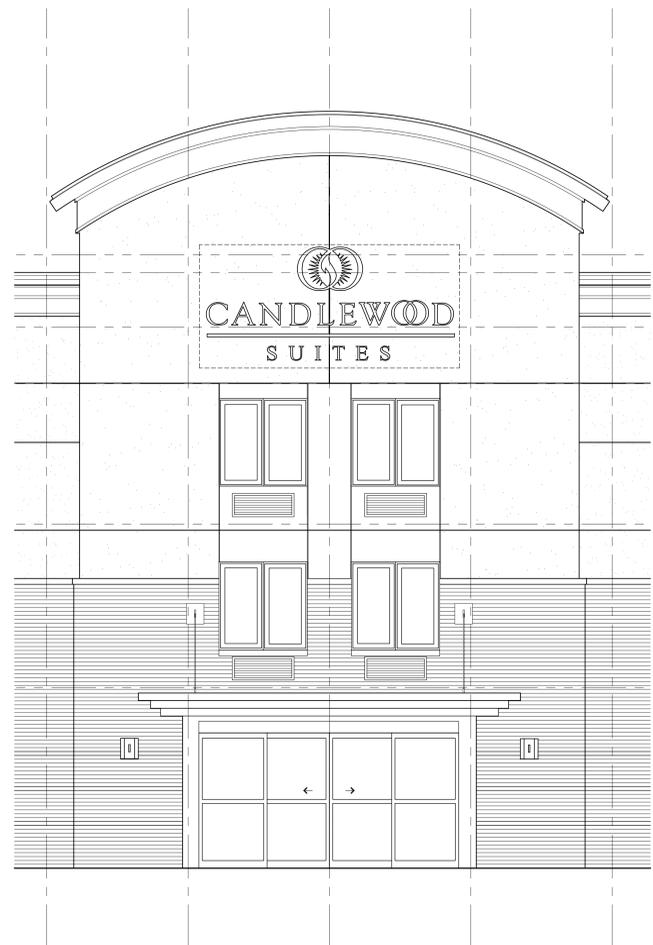
- ⓪ - 2" THICK E.I.F.S.
- Ⓛ - 2 1/2" THICK E.I.F.S.
- Ⓜ - 4" THICK E.I.F.S.



3 PARTIAL ELEVATION
SCALE: 1/4"=1'-0"



2 PARTIAL ELEVATION
SCALE: 1/4"=1'-0"



1 PARTIAL ELEVATION
SCALE: 1/4"=1'-0"

- TOP OF PARAPET 2
- TOP OF PARAPET 1
- TRUSS BEARING
- THIRD FLOOR F/F
- SECOND FLOOR F/F
- FIRST FLOOR F/F

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PRE-BRAND REV.	05.11.16
SITE PLAN REV.	08.03.16
SITE PLAN	09.07.16

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 SCALE : AS INDICATED
 JOB NO : BD-15-322

SHEET TITLE :
 EXTERIOR ELEVATIONS

SHEET
A201



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 (PH) 810.495.0793
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SEE CIVIL DRAWINGS
 FOR EXACT LOCATION/
 ORIENTATION OF
 GAZEBO

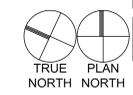
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OWNER REV.	05.09.16
PRE-BRAND REV.	05.11.16
SITE PLAN REV.	08.03.16
SITE PLAN	09.07.16

DRAWN :
 CHECKED :
 SCALE : AS INDICATED
 JOB NO : BD-15-322

SHEET TITLE :
 COMMON AREA
 PARTIAL PLAN

SHEET
A501



PARTIAL COMMON AREA FLOOR PLAN
 SCALE: 1/4"=1'-0"

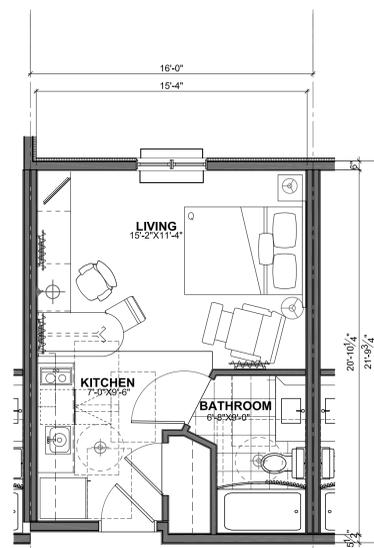


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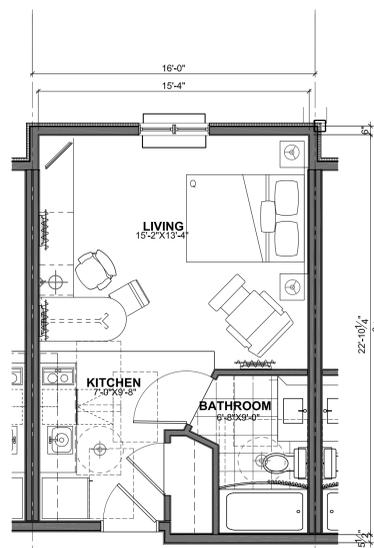
MICHIGAN

CANDLEWOOD
 SUITES

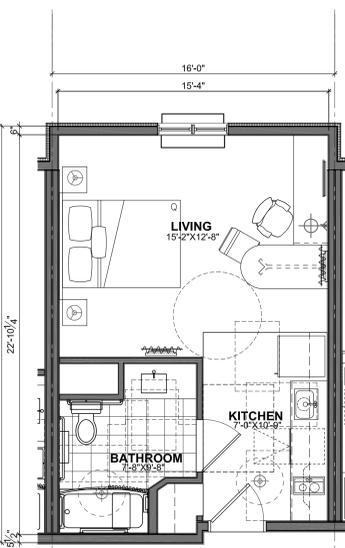
BRIGHTON



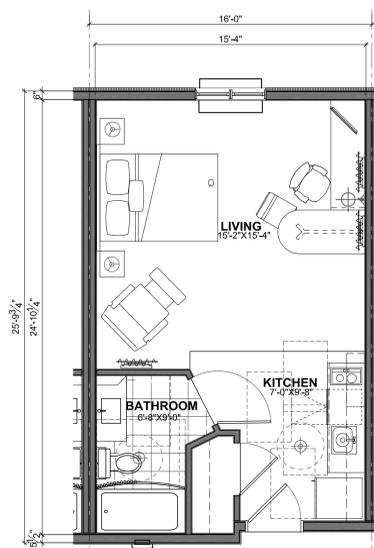
1 'A' STUDIO FLOOR PLAN
 SCALE: 1/4"=1'-0"



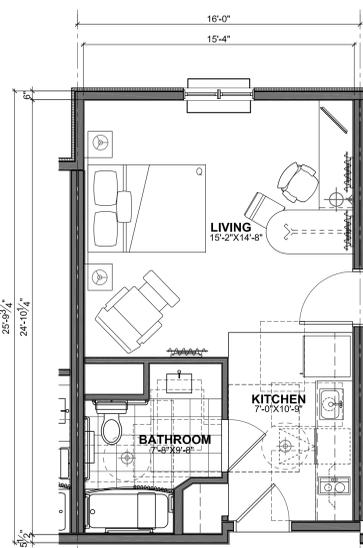
1 'A1' EXTENDED STUDIO FLOOR PLAN
 SCALE: 1/4"=1'-0"



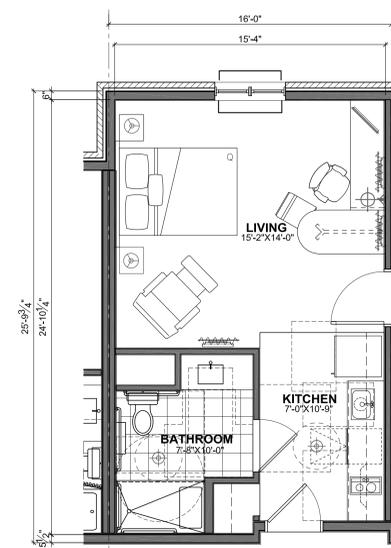
1 'A2' ACCESSIBLE (TUB) EXTENDED STUDIO FLOOR PLAN
 SCALE: 1/4"=1'-0"



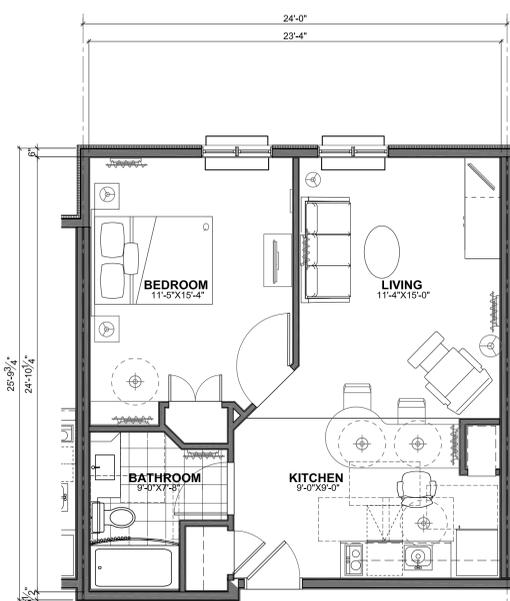
1 'B' EXTENDED STUDIO FLOOR PLAN
 SCALE: 1/4"=1'-0"



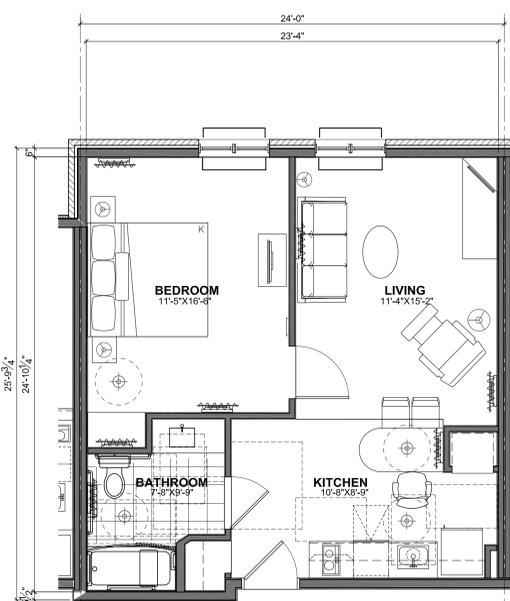
1 'B1' ACCESSIBLE (TUB) EXTENDED STUDIO FLOOR PLAN
 SCALE: 1/4"=1'-0"



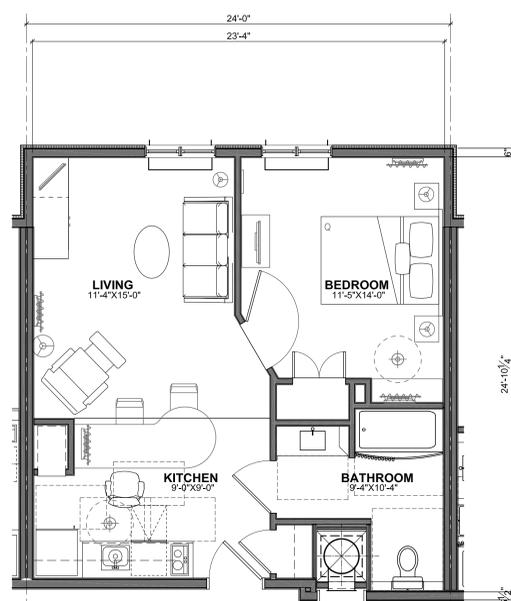
1 'B2' ACCESSIBLE (ROLL-IN) EXTENDED STUDIO FLOOR PLAN
 SCALE: 1/4"=1'-0"



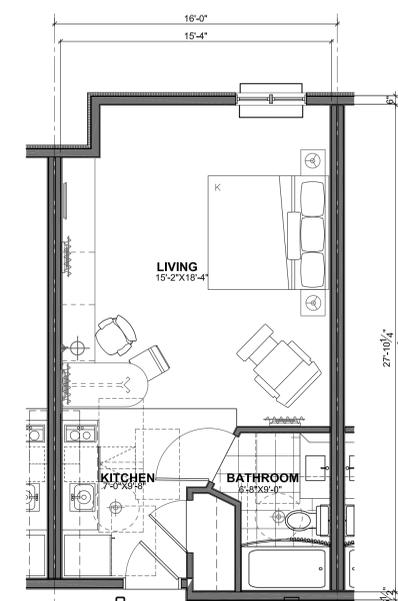
1 'C' SUITE FLOOR PLAN
 SCALE: 1/4"=1'-0"



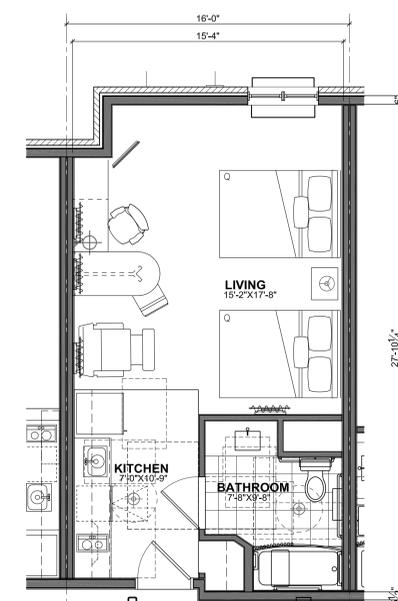
1 'C1' ACCESSIBLE (TUB) SUITE FLOOR PLAN
 SCALE: 1/4"=1'-0"



1 'C2' SUITE FLOOR PLAN
 SCALE: 1/4"=1'-0"



1 'D' EXTENDED STUDIO FLOOR PLAN
 SCALE: 1/4"=1'-0"



1 'D1' ACCESSIBLE (TUB) EXTENDED STUDIO FLOOR PLAN
 SCALE: 1/4"=1'-0"

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ISSUED FOR	DATE
OWNER REV.	02.22.16
OWNER REV.	02.26.16
OWNER REV.	05.09.16
PRE-BRAND REV.	05.11.16
SITE PLAN REV.	08.03.16
SITE PLAN	09.07.16

DRAWN:
 CHECKED:
 SCALE: AS INDICATED
 JOB NO: BD-15-322

SHEET TITLE:
 GUESTROOM PLANS
 SHEET

A511



CITY OF BRIGHTON
REPORT FROM THE CITY MANAGER TO CITY COUNCIL
OCTOBER 6, 2016

SUBJECT: CONSIDERATION OF REQUEST TO EXTEND THE FIRE STATION LEASE TO THE BRIGHTON AREA FIRE AUTHORITY

ADMINISTRATIVE SUMMARY

- Per Article 3B of the Fire Station Lease to the Brighton Area Fire Authority, BAFA had an option to extend the lease for additional five (5) year period following the ending date of September 30, 2015.
- Per the attached email dated September 27, 2016, Chief O'Brian sent a formal request for extension with the attached letter via an email dated July 13, 2015.
- After searching City Council minutes, staff was unable to find any Council action taken on the request, or any other acknowledgement of the extension being granted, which was likely an unintentional oversight.

RECOMMENDATION

Recommended action will be provided by the City Attorney at the meeting.

Prepared/

Approved by: Nate Geinzer, City Manager

Nate

Our audit is going on which made me look this up.

Per Dana this was going in the November 15 board meeting, any chance you can share those minutes with me so I can cover my bases it was approved?

Michael O'Brian, Fire Chief
Brighton Area Fire Authority
[810-229-6640](tel:810-229-6640), Fire Headquarters
[810-299-0024](tel:810-299-0024), Direct

President, Michigan Association of Fire Chiefs

----- Forwarded message -----

From: **Michael O'Brian** <unknown@brightonareafire.com>
Date: Mon, Jul 13, 2015 at 9:48 AM
Subject: Request for extension on Current Lease 615 W. Grand River Ave.
To: Dana Foster <dana@brightoncity.org>

Dana

Please see the attached document to extend our current lease by an additional five years

I am assuming this is a formality, but if you have questions please let me know. Can you also let me know when it is approved?

Michael O'Brian
Fire Chief
Brighton Area Fire Authority
[810-229-6640](tel:810-229-6640)

******Did you know we have devices that can aid those with hearing impairments be notified when their smoke alarm goes off? Drop me a note and we can help you out!*



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

July 9, 2015

Dana Foster
City Manager
200 N. First Street
Brighton MI, 48116

RE: Renewal Term of Lease Agreement, Station 31

Manager Foster,

Based on the lease agreement between the City of Brighton and the Brighton Area Fire Authority dated the 21st of October, 2010, the Fire Authority is requesting to extend the lease agreement for an additional five year period beginning October 1, 2015 (Section 3B).

The Authority will continue to agree to all terms and conditions as outlined in the lease agreement.

If you have questions or concerns please feel free to contact me at 810-229-6640 or by email at mobrian@brightonareafire.com.

Cordially,

A handwritten signature in black ink, appearing to read "MOB", is written over the typed name of Michael O'Brian.

Michael O'Brian, CFO, MiFirE
Fire Chief

LEASE OF 615 WEST GRAND RIVER

1. PARTIES

This lease, dated this 21st day of October, 2010, is made by and between CITY OF BRIGHTON, a municipal corporation, whose address is 200 North First Street, Brighton, MI 48116, (hereinafter called "Lessor"), and the BRIGHTON AREA FIRE AUTHORITY, whose address is 615 West Grand River, Brighton, MI 48116, (hereinafter called "Lessee").

WITNESSETH:

2. PREMISES

In consideration of the mutual covenants and agreements set forth herein, Lessor hereby leases to Lessee and Lessee hereby leases from Lessor certain real property situated in the City of Brighton, County of Livingston, State of Michigan, with the address 615 West Grand River, Brighton, MI known as Station 31 more particularly described on Exhibit A, to be used as a fire station and related uses. Said real property, including the land and all easements, tenements, improvements and appurtenances therein, is herein called "the Premises."

3. TERM

A. The term of this lease shall be for five (5) years, commencing on October 1, 2010 ("commencement date"), and ending on September 30, 2015, ("termination date") unless terminated sooner by either party under the terms of this lease.

B. Provided Lessee is not in default hereof, Lessee shall have the option to extend the term hereof for an additional period of five (5) years (the "Renewal Term"). Such option shall be exercised, if at all, by written notice to Lessor at least one hundred eighty (180) days prior to the expiration of the initial term. All terms and conditions contained in this Lease shall apply during such option period. In the event Lessee does not exercise the foregoing option to renew this Lease within the required time period, then such option shall, upon expiration of the applicable period, become null and void and be of no further force or effect. All references to "term" throughout the Agreement shall include the Initial Term and Renewal Term if and when Lessee exercises its option to renew.

4. USE

Lessee shall not occupy or use or permit any portion of the premises to be occupied or used, for any business or purpose other than the use as set out in Section 2. Lessee shall not create any nuisance, or commit waste.

5. RENT

Lessee's rent for the Premises shall be one dollar (\$1.00) and Lessee's portion of the maintenance of the Premises as set forth in Section 3 for the Lease Term (and the Renewal Term,

if applicable). Lessee shall pay the \$1.00 rent at the beginning of the Term and again at the beginning of the Renewal Term, if applicable, at Lessor's address as set forth above and shall pay the maintenance expenses as they become due as provided herein.

6. QUIET ENJOYMENT

Lessor hereby warrants that Lessor has the right to lease the premises to Lessee and that the individuals executing this lease are fully authorized to and legally capable of executing this lease on behalf of Lessor. Lessor covenants that Lessee shall, while Lessee is not in default of the terms of this lease, peaceably and quietly hold and enjoy the premises for the lease term, without interference or hindrance from Lessor or persons claiming by or through Lessor.

7. LESSOR'S ACCESS TO THE PREMISES

Provided that the exercise of such rights does not unreasonably interfere with Lessee's use or occupancy of the premises, Lessor shall have the right to enter the premises at reasonable times during normal business hours and upon reasonable advance notice to Lessee (except in the case of an emergency) for the purpose of making alterations, repairs or improvements to the premises, or to show the premises to prospective lessees, and for other reasonable related and lawful purposes.

8. COMPLIANCE WITH LAWS

During the terms of this lease, Lessor shall, at Lessor's sole cost and expense, promptly comply with any and all present and future applicable laws, ordinances, rules, regulations, orders, and covenants, whether promulgated by state, federal, municipal or any other agency or body having jurisdiction over the premises. Lessee shall, at Lessee's expense, perform, or cause to be performed, any alterations, repairs, improvements or replacements related to the use, condition or occupancy of the premises, including, but not limited to, laws relating to design, construction, energy conservation, environmental, fire, health, and safety laws.

Should Lessee fail to comply with any such laws, rules or regulations, Lessor may, at its option, make any such repairs, alterations or replacements and then charge the costs incurred to Lessee as additional rent which shall become due and payable upon receipt of written notice by Lessee.

9. ALTERATIONS AND FIXTURES

Lessee and Lessor acknowledge that the Leased Premises is currently configured to accommodate the use intended by Lessee.

A. Installation by Lessee. Lessee may improve the Leased Premises as is reasonably necessary to conduct its operations in the Leased Premises, provided, however, that no such alterations or improvements shall be made unless and until Lessee submits plans and specification for such improvements/alterations to Lessor and Lessor approves such improvements/alterations in writing at least twenty (20) days prior to the commencement of any

such construction. Lessee shall be responsible for obtaining all necessary governmental permits and approvals (including building permits and certificates of occupancy) required for such construction. For purposes of this Section, alterations and/or improvements shall include, but not be limited to, carpentry work, installation of cabinetry, counter tops, exterior signs, floor covering, interior or exterior lighting, plumbing fixtures, shades, canopies or awnings, changes to the building exterior, mechanical, electrical or sprinkler systems or any other change in the structure or appearance of the Leased Premises. At least twenty (20) days prior to the commencement of any such Alterations, additions or improvements pursuant to this Section, Lessee shall notify Lessor so that Lessor may record and post notices of non-responsibility. Notwithstanding the foregoing, Lessee may, without Lessor's consent, make interior non-structural Alterations in and to the Leased Premises which are consistent in quality, color and décor to any plans and specifications previously approved by Lessor; provided that (a) the cost thereof does not exceed Five Thousand Dollars (\$5,000) during any lease year, and (b) electrical, plumbing and HVAC systems and the building exterior shall be deemed structural for purposes of the foregoing.

B. Removal by Lessee. All Alterations, decorations, additions and improvements made by Lessee shall be deemed to have attached to the leasehold and to have become the property of Lessor upon such attachment, and upon expiration of this Lease or any renewal term thereof, Lessee shall not remove any of such alterations, decorations, additions and improvements (hereinafter collectively referred to for purposes of this Section as "Alterations"), except trade fixtures and signs installed by Lessee and personal property of Lessee installed and/or purchased by Lessee after the effective date of this Lease (hereinafter collectively referred to as "Lessee's Property"). All trade fixtures and/or personal property existing on the Premises prior to the effective date of this lease shall be deemed property of Lessor. Lessor, at the expiration of the term, may elect to require Lessee to remove all or any part of Lessee's Property and/or the Alterations made by Lessee, and, in such event, or in the event Lessee elects to remove Lessee's Property, such removal shall be done at Lessee's cost and expense, and Lessee shall, at its cost and expense, repair any damage to the Leased Premises caused by such removal, provided that Lessor may remove such Lessee's Property and/or Alterations, and Lessee shall pay to Lessor Lessor's cost of removal within ten (10) days after the receipt of a bill therefore. In the event Lessor does not so elect or Lessee vacates the Leased Premises without so removing Lessee's Property, such Lessee's Property and/or Alterations, as the case may be, shall become Lessor's property.

10. END OF TERM HOLDOVER

If Lessee remains in possession of the premises at the expiration of the term, or any renewal thereof, Lessee shall be deemed to be occupying the premises as a Lessee from month to month, at the same monthly rental that applied during the last month of the term or any renewal term. In the event of a holdover, Lessee's occupancy of the premises shall be subject to all other provisions of this lease, but only as they are applicable to a month-to-month tenancy.

11. SERVICES

During the term of this Lease, Lessee shall, at its sole cost and expense, supply or arrange for the supply of electricity, heat, water, refuse disposal, telephone, sewer service and other utilities to the Leased Premises and shall pay for the same when due. Lessor shall not be liable to Lessee in damages or otherwise (i) if any utility shall become unavailable from any public utility company, public authority or any other person or entity, (ii) if either the quantity or character of such utility is changed or is no longer suitable for Lessee's requirements, or (iii) for any interruption or failure in a utility service (including, without limitation, any heating, ventilation or air conditioning) caused by the making of any necessary repairs or improvements or by any cause beyond Lessor's reasonable control, and the same shall not constitute a termination of this Lease or an eviction of Lessee, nor shall the Rent abate to any extent whatsoever as a result thereof.

12. MAINTENANCE AND REPAIRS

A. Lessor's Obligations. Lessor shall, at its cost, maintain, repair, or replace structural elements and equipment, including exterior and interior walls, roof and roofing, foundation, glass doors, heating, plumbing, (including the computerized components of mechanical, electrical and engineering systems) sidewalks, parking lots, driveways, and like structural elements and equipment.

B. Lessee's Obligations. Lessee shall maintain the premises in a clean, orderly and sanitary condition. Lessee shall, throughout the term, take good care of the premises and fixtures and appurtenances therein, and make all minor and nonstructural repairs thereto as and when needed to preserve the premises in good order and condition. Lessee shall also perform snow removal and maintain the landscaping of the Premises including but not limited to lawn mowing, weeding, mulching of landscape beds, planting of annuals and replacement of dead trees, shrubs and perennials so that the landscaping of the Premises is maintained in its condition at the time of the effective date of this lease. At the expiration or other termination of this lease, Lessee will surrender peaceable possession of the Premises in as good condition as they were at the commencement date, excepting reasonable wear and tear, and damage by fire or other casualty. Lessee shall give Lessor prompt notice of any accident or needed repairs or replacements.

Notwithstanding the above, Lessee shall contract for, in its own name, and shall pay for a qualified service contractor to inspect, adjust, clean and repair heating, ventilating and air conditioning equipment (the "HVAC system"), including changing filters on a quarterly basis (the "quarterly maintenance"). Lessee shall deliver to Lessor a copy of Lessee's current service contract from time to time during the term of this Lease. The service contract must include all services suggested by the equipment manufacturer within the operation/maintenance manual. Lessee shall from time to time upon Lessor's request furnish proof reasonably satisfactory to Lessor that all such systems and equipment are being serviced in accordance with the maintenance/service contract. So long as Lessee performs its quarterly maintenance obligations of the HVAC system, Lessor shall be responsible for all maintenance and repairs to the HVAC system (other than the quarterly maintenance). If, however, Lessee does not perform its

quarterly maintenance obligation as specified above, then upon such failure, all repair and maintenance for the HVAC system shall become Lessee's obligation.

13. ASSIGNMENTS AND SUBLEASES

Lessee agrees not to assign or sublet all or any part of the premises without Lessor's prior written consent, which shall not be unreasonably withheld or delayed. Any unauthorized assignment or subletting of this Lease shall be null and void.

14. INDEMNIFICATION AND HOLD HARMLESS

Lessor and Lessee shall indemnify and save each other harmless from and against any and all liabilities, claims and costs (including reasonable attorney fees, penalties and fines) for death, injury or damages to persons, or property during the term of this lease, arising from (a) any default by each in the performance of its obligations under this lease, or (b) any acts, omissions, or negligence of each party or its agents and employees. If any action or proceeding is brought against the other based upon any such claim, the party at fault shall cause such action to be defended, at its expense, by counsel reasonably satisfactory to the other party. This hold harmless and indemnity shall survive termination of this lease.

15. FORCE MAJEURE

In the event Lessor or Lessee is delayed, hindered or prevented from performing any act or thing required hereunder by reason of strikes, lockouts, labor troubles, casualties, failure or lack of utilities, governmental laws or regulations, riots, insurrection, war, acts of God, or other causes beyond the reasonable control of Lessor or Lessee, neither party shall be liable for the delay, and the period for the performance by either party shall be extended for a period equivalent to the period of such delay. The foregoing shall be inapplicable to the payment of rent by Lessee and to the delivery of the premises by Lessor.

16. HAZARDOUS MATERIALS

Lessee warrants that neither Lessee, nor to Lessee's knowledge, has any third party used, generated, managed, treated or disposed of any regulated or environmentally hazardous substance on, under or about the premises or transported any regulated or environmentally hazardous substance to or from the premises in violation of any state or federal environmental statutes or regulations.

Lessee shall not introduce or cause to be introduced into the Leased Premises or the building located thereon any material or substance that is now or in the future defined, listed or classified by the Environmental Protection Agency, the Occupational Safety and Health Administration or the National Institute of Safety and Health or any federal, state or local agency having jurisdiction over work place safety or environmental protection or any of their successor agencies or authorities, as a hazardous substance, hazardous waste, toxic substance, toxic waste, pollutant or contaminant (collectively "Hazardous Material"); except, such Hazardous Material as is reasonably necessary for the conduct of Lessee's operations, and in such amounts and in

such manner as is in compliance with all applicable federal, state and local statutes and regulations. If, however, Lessee shall introduce or cause to be introduced any Hazardous Material into the Leased Premises or the building, Lessee shall, upon notice of such condition, immediately disclose in person or by telephone and confirm in writing the presence of the Hazardous Material to Lessor and Lessee shall have the duty to remove the Hazardous Material promptly and, any failure of Lessee to immediately remove such hazardous materials shall be a material breach of this Agreement. Lessee shall indemnify and defend Lessor for and hold Lessor harmless from any and all claims, liability, damage or injury in any way relating to or arising out of the Hazardous Material or exposure thereto. The words "claims", "liability", "damage" or "injury" shall include, but not be limited to, any and all liabilities, judgments or costs to comply with injunctive relief or any order of any court or governmental agency or authority, investigation costs, response costs, clean-up costs, remediation costs, costs to defend (including costs of appeal) any claim or proceeding in any way relating to or arising out of the Hazardous Material or exposure thereto and all costs incurred to establish Lessor's right in indemnification and to recover any sums due from Lessee. Lessee's obligation to indemnify, defend and hold Lessor harmless pursuant to this Section 16 shall survive the expiration or earlier termination of this Lease.

17. DESTRUCTION OF THE PREMISES

If during the term of this lease the premises are destroyed or damaged in whole or in part by fire or other casualty (even if only part of the building other than the premises is damaged), Lessor shall promptly and diligently repair the premises unless the lease is terminated as hereinafter provided.

Within thirty (30) days of the date of such damage, Lessor shall notify Lessee whether or not Lessor will restore the premises, and provide Lessee with Lessor's anticipated time frame for the restoration or that the restoration cannot be completed within a four (4) month period. If the damage renders the premises untenable for Lessee's intended purposes in whole or in part, and is so extensive that Lessor cannot restore or repair the premises to pre-casualty condition within a period of four (4) months from the date of such fire or other casualty, either party shall have the right to terminate this lease by notice to the other party. In the event the damage, in Lessor's reasonable opinion, can be restored to pre-casualty condition within a period of four (4) months from the date of such fire or other casualty, Lessor shall undertake to restore the premises and the building in a prompt and diligent manner.

18. EMINENT DOMAIN

If any part of the premises shall be taken or condemned by eminent domain or sale in anticipation thereof and renders the premises unsuitable for the business of Lessee, the term of this lease shall cease and terminate as of the date title to the premises vests in the condemning authority. All compensation awarded for any taking under the power of eminent domain, whether for the whole or a part of the premises, shall be the property of the Lessor, whether awarded compensation for diminution in the value of the leasehold or to the fee of the premises or otherwise, and Lessee hereby assigns to Lessor all of the Lessee's right, title and interest in and to any and all such compensation; provided, however, that Lessor shall not be entitled to any

award properly belonging to Lessee, including, but not limited to, the taking of Lessee's trade fixtures, furniture or for an award for moving expenses.

19. DEFAULT

Lessor:

If Lessor defaults in the performance of any term, covenant, or condition required to be performed under this lease, Lessee may elect either one of the following:

(a) After not less than thirty (30) days written notice (or such lesser notice as is reasonable in the event of emergency repairs) to Lessor, Lessee may remedy such default by any necessary action, and in connection with such remedy may pay expenses and employ counsel and all sums expended or obligations incurred by Lessee in connection therewith shall be paid by Lessor to Lessee on demand; or

(b) Elect to terminate this lease on giving at least forty-five (45) days notice to Lessor, thereby terminating this lease on the date designated in such notice, unless Lessor shall have cured such default prior to expiration of the forty-five (45) day period.

Lessee:

Upon the nonpayment of the whole or any portion of rent at the time same becomes due and payable, Lessor may either distrain for rent due or declare this lease at an end and recover possession of the premises as if the same were held by forcible detainer, and Lessee does hereby waive notice of such election, or of any demand for the possession of the premises.

20. SIGNS

Lessee will be allowed to maintain the sign or letters on the outside of the building that are present at the time of the effective date of this lease. Lessee may add additional or different signs with Lessor approval.

21. RULES AND REGULATIONS

Lessor shall have the right from time to time to prescribe reasonable rules and regulations for Lessee's use of the premises and common areas upon written advance notice to Lessee, and Lessee shall observe and comply with such rules, if any, provided, however, that any such rules and regulations are consistent with the terms and provisions of this lease.

22. NO JOINT VENTURE

Nothing contained herein nor the acts of the parties shall be deemed or construed to create the relationship of principal and agent, partnership, joint venture, or similar relationship or arrangement, it being understood that the relationship between the parties is solely that of Lessor and Lessee.

23. INSURANCE AND WAIVER OF SUBROGATION

A. Lessee's Insurance. Lessee shall, at its sole cost and expense, during the entire term hereof, keep in full force and effect: (i) a policy of commercial general liability and property damage insurance with respect to the Leased Premises, and the operations of Lessee, in which the limits of commercial general liability shall be not less than One Million Dollars (\$1,000,000.00) per occurrence, and in which the limit of property damage liability shall be not less than One Million Dollars (\$1,000,000.00); and (ii) workers' compensation coverage as required by law. From time to time during the term of this Lease, if the limits of such insurance became inadequate due to changes in the cost of living or the size or number of claims being experienced, Lessor and Lessee shall negotiate in good faith for new limits based on industry practice for comparable properties. The policy shall name Lessor, Lessor's lender and Lessee as additional insureds.

B. Property Insurance.

(i) Lessor agrees, during the term hereof, to carry insurance against fire, vandalism, malicious mischief and such other perils as are from time to time included in a standard extended coverage endorsement and, at Lessor's option, special extended coverage endorsements insuring the improvements to the Leased Premises in an amount reasonably determined by Lessor.

(ii) Lessee agrees to carry, at its expense, insurance against fire, vandalism, windstorm, explosion, smoke damage, malicious mischief, and such other perils as are from time to time included in a standard extended coverage endorsement, insuring Lessee's trade fixtures, furnishings, equipment and all other items of personal property of Tenant located on or within the Leased Premises, in an amount equal to not less than the actual replacement cost thereof and to furnish Landlord with a certificate evidencing such coverage.

C. Policy Requirements. The company or companies writing any insurance which Lessee is required to take out and maintain or cause to be taken out or maintained pursuant to this Lease, as well as the form of such insurance shall at all times be subject to Lessor's approval and any such company or companies shall be licensed to do business in the State of Michigan. Each policy evidencing such insurance shall name Lessor as an additional insured and shall also contain a provision by which the insurer agrees that this policy shall not be cancelled except after thirty (30) days' written notice to Lessor. A copy of each paid up policy evidencing such insurance or a certificate of insurance certifying to the issuance of such policy shall be delivered to Lessor prior to commencement of this Lease and upon renewals not less than thirty (30) days prior to the expiration of such coverage.

24. SUCCESSORS AND ASSIGNS

Each of the provisions of this lease shall extend to and shall, as the case may require, bind or inure to the benefit of Lessor and Lessee, and their respective affiliates, legal representatives, successors and assigns.

25. HEADINGS

The titles and headings of this lease are for convenience of reference only and shall not in any way be deemed a part of this lease for the purpose of construing or interpreting the meaning thereof, or for any other purpose.

26. GOVERNING LAW

This lease shall be governed by and construed in accordance with the laws of the State of Michigan.

27. ENTIRE AGREEMENT

This lease contains the entire agreement and understanding between Lessor and Lessee relating to the leasing of the premises and obligations of Lessors and Lessee. This lease supersedes any and all prior or contemporaneous agreements and understandings between Lessor and Lessee, and shall not be modified or amended unless both Lessor and Lessee agree in writing.

28. NOTICES

All notices which are required to be given pursuant to this Agreement shall be in writing and shall be delivered by certified mail, return receipt requested, sent by overnight express or similarly recognized overnight delivery with receipt acknowledged or by facsimile, with a copy thereof sent by first class mail, postage prepaid, or one of the other means. Notices shall be deemed to have been given at the time delivered and shall be addressed as follows or to such other address as a party may designate by proper notice hereunder:

Lessor:

CITY OF BRIGHTON
200 North First Street
Brighton, MI 48116
Attn: Mr. Dana Foster, City Manager

With a copy to:

Paul E. Burns, Esq.
Law Office of Paul E. Burns
133 West Grand River
Brighton, MI 48116

Lessee:
Brighton Area Fire Authority
615 West Grand River
Brighton, MI 48116
Attn: Chief

With a copy to:
Neal Nielson, Esq.
Neal Nielson & Associates
2000 Grand River Annex
Suite 200
Brighton, MI 48114-3800

IN WITNESS WHEREOF, the parties have executed this lease as of the day and year first above written pursuant to authority granted by their respective Boards.

LESSOR: CITY OF BRIGHTON

LESSEE: BRIGHTON AREA FIRE
AUTHORITY

By: Dana Wifalen

By: _____

Title: City Manager

Title: _____

Date: 10/26/10

Date: _____



CITY OF BRIGHTON
REPORT FROM THE CITY MANAGER TO CITY COUNCIL
OCTOBER 6, 2016

SUBJECT: CONSIDER APPROVAL OF PROPOSAL FOR PAVEMENT ASSESSMENT AND ASSET MANAGEMENT INTEGRATION TO TETRA TECH IN THE AMOUNT OF \$41,000

ADMINISTRATIVE SUMMARY

- Given the City's extensive road infrastructure needs and limited resources for maintenance and reconstruction, a comprehensive road assessment will help staff be more strategic when identifying projects. Additionally, the assessment will help staff understand the "state" of our road infrastructure and the funding necessary to maintain and improve our road network.
- The data from the recommended pavement assessment will be absolutely necessary to help inform any potential future discussions about infrastructure funding.
- City Council originally budgeted \$25,000 for a Pavement Condition Assessment. Tetra Tech's proposal came in slightly higher, but staff also added the additional project scope of integrating the assessment data into the asset management software being purchased through the SAW Grant. Staff is comfortable that the additional \$16,000 can be absorbed by related engineering line items, or other anticipated savings as necessary.
- Tetra Tech will be at the meeting to outline the project and how the data will be used.

RECOMMENDATION

It is recommended that City Council approve the proposal for Pavement Assessment and Asset Management Integration to Tetra Tech in the Amount of \$41,000.

Prepared/

Approved by: Nate Geinzer, City Manager